

# TRU COLORS BREWERY

## 715 GREENFIELD STREET WILMINGTON, NORTH CAROLINA 28401

### DESIGN DOCUMENTS

### DECEMBER 2019

**NOTICE REQUIRED**

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

CONTRACTORS SHALL CONTACT OVERHEAD ELECTRIC PROVIDER TO COMPLY WITH FEDERAL OSHA 1910.333 MINIMUM APPROACH DISTANCE TO ENERGIZED POWERLINES AND OSH 29 CFR 1926.1407-1411 MUST BE FOLLOWED.

CONTRACTOR SHALL CONTACT AT&T PRIOR TO ANY DEMOLITION TO ALLOW FOR AT&T TO DISCONNECT COMMUNICATIONS CABLES COMING INTO THE SITE.

**CONTACT THESE UTILITIES**

**CITY OF WILMINGTON PLANNING & DEVELOPMENT**  
ATTN: PATRICK O'MAHONY, PLANNER  
PH: 910-341-0189  
  
ATTN: ZONING INSPECTIONS  
PH: 910-254-0900

**CITY OF WILMINGTON ENGINEERING**  
ATTN: ERIC SEIDEL, PE  
PH: 910-341-7813

**PIEDMONT NATURAL GAS**  
ATTN: CATHY PLEASANT  
PH: 910-251-2827

**EMERGENCY DIAL 911**  
**POLICE - FIRE - RESCUE**  
ATTN: CITY OF WILMINGTON FIRE & LIFE SAFETY  
PH: 910-343-0696

**CAPE FEAR PUBLIC UTILITY AUTHORITY (WATER & SEWER)**  
ENGINEERING/INSPECTIONS  
PH: 910-332-6560

OPERATIONS/MAINTENANCE  
PH: 910-322-6550

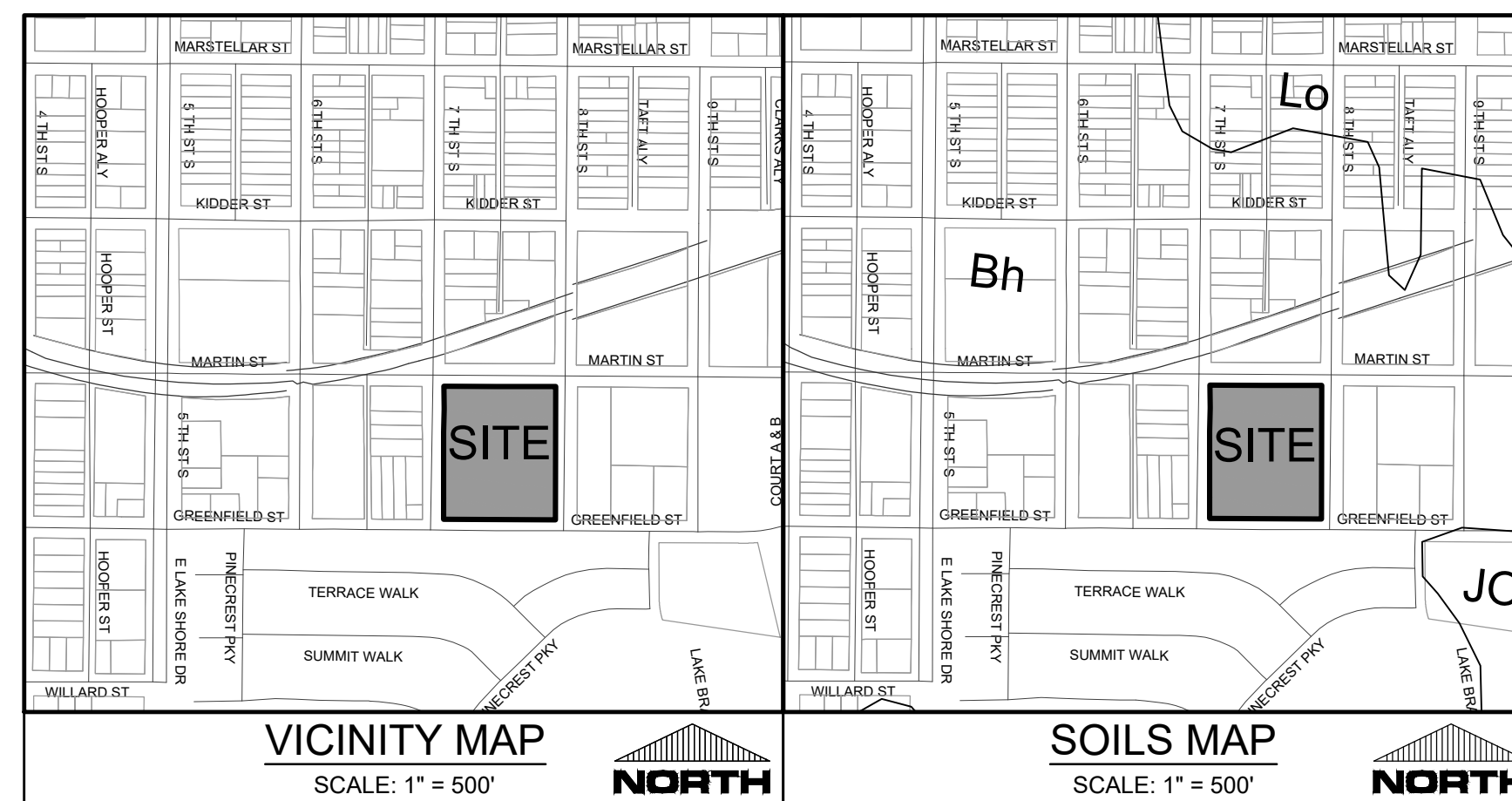
**DUKE ENERGY**  
DISTRIBUTION CONSTRUCTION SERVICE  
DEP CSC PH: 1-800-452-2777

TRANSMISSION AGENT  
BILL WILDER  
PH: 910-772-4903

**AT&T/BELL SOUTH**  
ATTN: STEVE DAYVAULT (BUILDING ENGINEERING)  
PH: 910-341-0741

ATTN: JAMES BATSON, ENGINEERING  
PH: 910-341-1621

**SPECTRUM**  
GENERAL PH: 800-892-4357



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN  
Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_

**Approved Construction Plan**  
Name \_\_\_\_\_ Date \_\_\_\_\_  
Planning \_\_\_\_\_  
Traffic \_\_\_\_\_  
Fire \_\_\_\_\_

Professional Seal redacted on electronic copy per City of Wilmington Policy



**OWNER/DEVELOPER:**  
TRU COLORS HOLDINGS, INC.  
21 S. FRONT STREET  
WILMINGTON, NC 28401

**CIVIL - ENGINEERING, SURVEYING, LANDSCAPE ARCHITECTURE:**  
PARAMOUNTE ENGINEERING, INC.  
122 CINEMA DRIVE  
WILMINGTON, NORTH CAROLINA 28403  
ATTN: ROB BALLAND, P.E. (910) 791-6707 - ENGINEERING  
ATTN: CHRIS GAGNE, PLS (910) 791-6707 - SURVEYING  
ATTN: ALLISON ENGBRETSON, ASLA (910) 791-6707 - LANDSCAPE

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C-0.0	COVER SHEET
C-1.0 & C-1.1	GENERAL NOTES
C-2.0	SITE INVENTORY PLAN
C-2.1	DEMOLITION PLAN
C-2.2	SITE PLAN
C-5.0	UTILITY PLAN
C-6.0	DETAILS
L-1.0	LANDSCAPE PLAN
EXH-1	AUTOTURN EXHIBIT

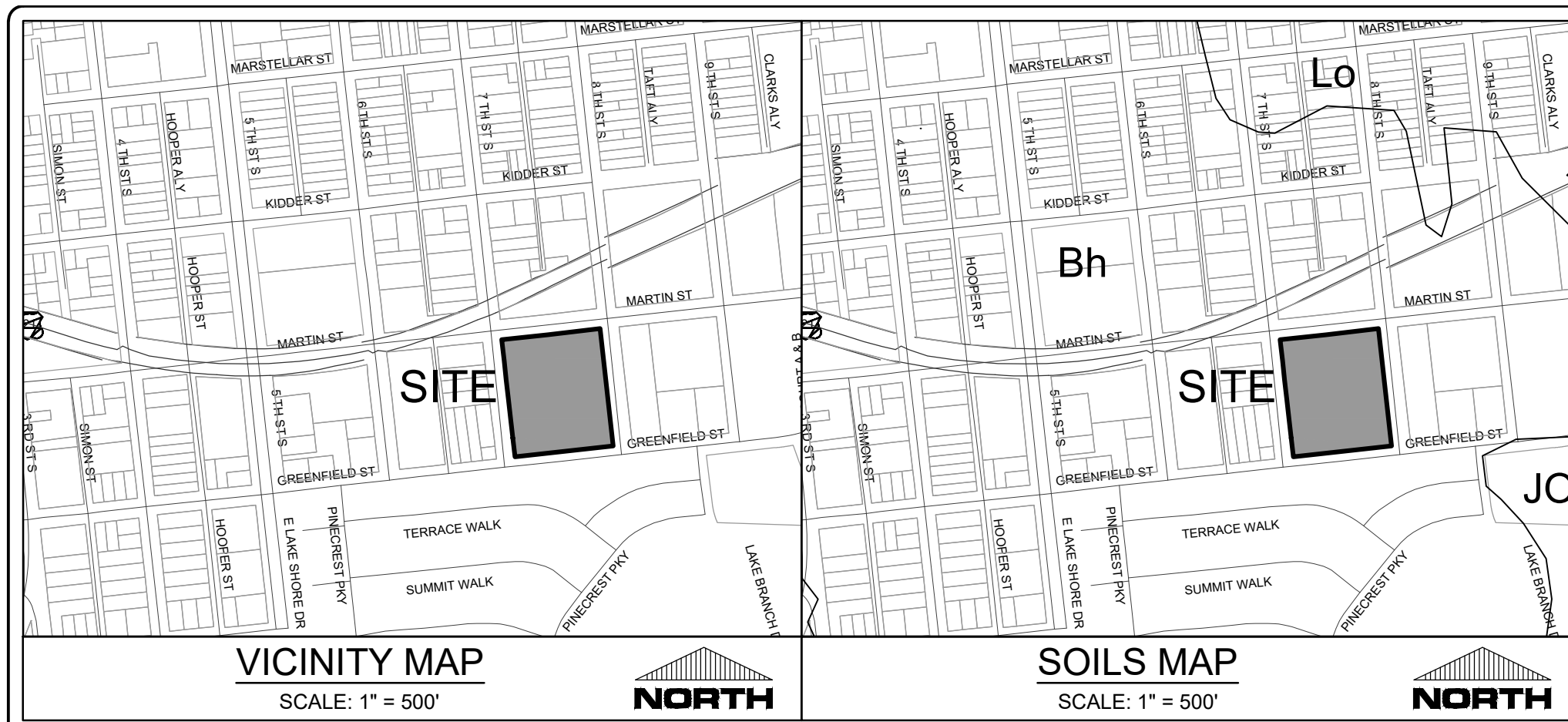
PREPARED BY:



122 Cinema Drive  
Wilmington, North Carolina 28403  
(910) 791-6707 (O) (910) 791-6760 (F)  
NC License #: C-2846  
PROJECT # 19321.PE







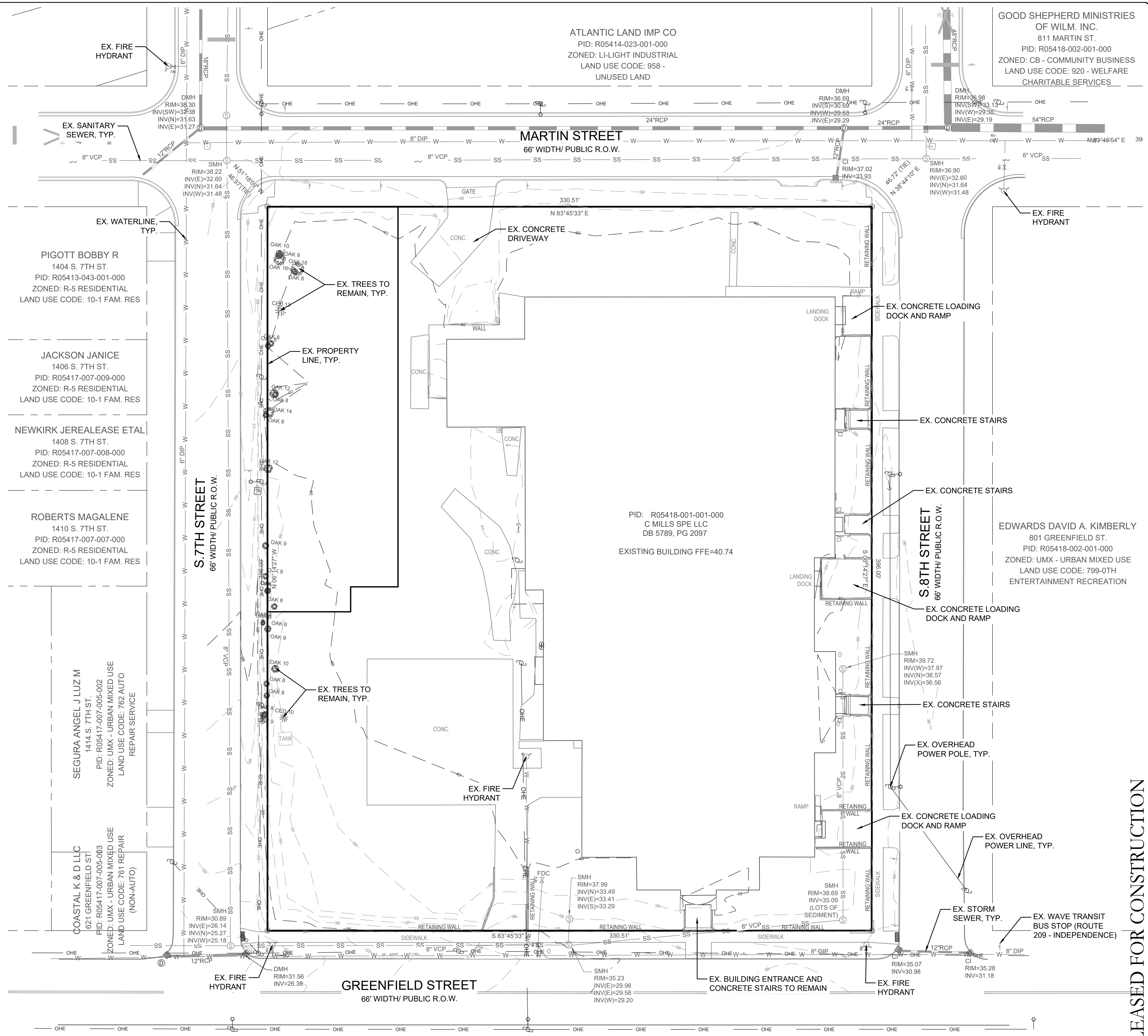
SITE INVENTORY DATA	
1. PREPARER OF THE PLAN:	PARAMOUNTE ENGINEERING, INC. 122 CINEMA DRIVE WILMINGTON, NC 28403
2. APPLICANT NAME:	TRU COLORS HOLDINGS, INC. 21 S. FRONT STREET WILMINGTON, NC 28401
3. SITE ADDRESS:	715 GREENFIELD STREET WILMINGTON, NC 28401
4. PROPERTY OWNER:	TRU COLORS HOLDINGS, INC. 21 S. FRONT STREET WILMINGTON, NC 28401
5. DEVELOPER:	SAME AS PROPERTY OWNER
6. PROPERTY BOUNDARY:	SEE PLAN
7. ZONING:	UMX - URBAN MIXED USE
8. ADJACENT PROPERTY INFORMATION (OWNER AND ZONING):	SEE PLAN
9. VICINITY MAP:	SEE MAP ABOVE
10. TOPOGRAPHY:	SEE PLAN
11. 100 YEAR FLOOD PLAIN BOUNDARY:	SUBJECT PARCEL IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS INDICATED BY FEMA FLOOD ZONE MAP NUMBER 3720312700K BEARING AN EFFECTIVE DATE OF AUGUST 28, 2018.
12. LOCATION OF EXISTING DITCHES, CREEKS, AND STREAMS:	SEE PLAN
13. SOILS:	BAYMEADED-URBAN LAND (Bh) (SEE SOILS MAP ABOVE)
14. CAMA AEC & ASSOCIATED SETBACKS:	N/A
15. CAMA LAND CLASSIFICATION:	URBAN
16. CONSERVATION RESOURCES:	N/A
17. LOCAL, STATE, OR FEDERAL HISTORIC OR ARCHAEOLOGICAL SITE:	N/A
18. LOCATION OF CEMETERIES, BURIAL SITES, OR BURIAL GROUNDS:	N/A
19. SQUARE FOOTAGE OF FORESTED AREA, HABITAT, AND DOMINANT SPECIES:	N/A
20. SECTION 404 WETLANDS AND SECTION 10 WATERS:	N/A
21. PROTECTED SPECIES OR HABITAT:	N/A
22. THOROUGHFARES, BIKE ROUTES, SIDEWALKS, TRANSIT FACILITIES (EXISTING):	SEE PLAN

NCDENR PWSS WATER PERMIT #:	
WATER CAPACITY:	GPD
DWQ SEWER PERMIT #:	
SEWER CAPACITY:	GPD
SEWER SHED # AND PLANT:	
SEWER TO FLOW THROUGH NEI:	YES or NO (CIRCLE ONE)

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

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NORTH CAROLINA  
Public Services • Engineering Division  
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Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_

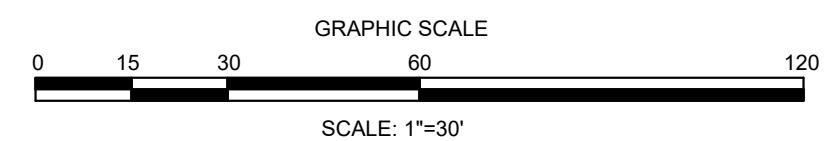
**Approved Construction Plan**  
Name \_\_\_\_\_ Date \_\_\_\_\_  
Planning \_\_\_\_\_  
Traffic \_\_\_\_\_  
Fire \_\_\_\_\_



LAKE FOREST INV.  
250 PINECREST PKY.  
PID: R05418-003-001-000  
ZONED: R-5 RESIDENTIAL  
LAND USE CODE: 12-3 + FAMILY RES.

PID: R05418-001-001-000  
C MILLS SPE LLC  
DB 5789, PG 2097  
EXISTING BUILDING FFE=40.74

GOOD SHEPHERD MINISTRIES  
OF WILM. INC.  
811 MARTIN ST.  
PID: R05418-002-001-000  
ZONED: CB - COMMUNITY BUSINESS  
LAND USE CODE: 920 - WELFARE  
CHARITABLE SERVICES



REVISIONS:

CLIENT INFORMATION:  
**PARAMOUNTE**  
ENGINEERING, INC.

**SITE INVENTORY PLAN**

PROJECT STATUS:  
CONCEPTUAL LAYOUT:  
PRELIMINARY LAYOUT:  
RELEASED FOR CONST.

DRAWING INFORMATION  
DATE: 12/09/19  
1 AEC  
DESIGNED:  
DRAWN:  
CHECKED:  
AEC 303

Professional Seal  
redacted on electronic  
copy per City of  
Wilmington Policy

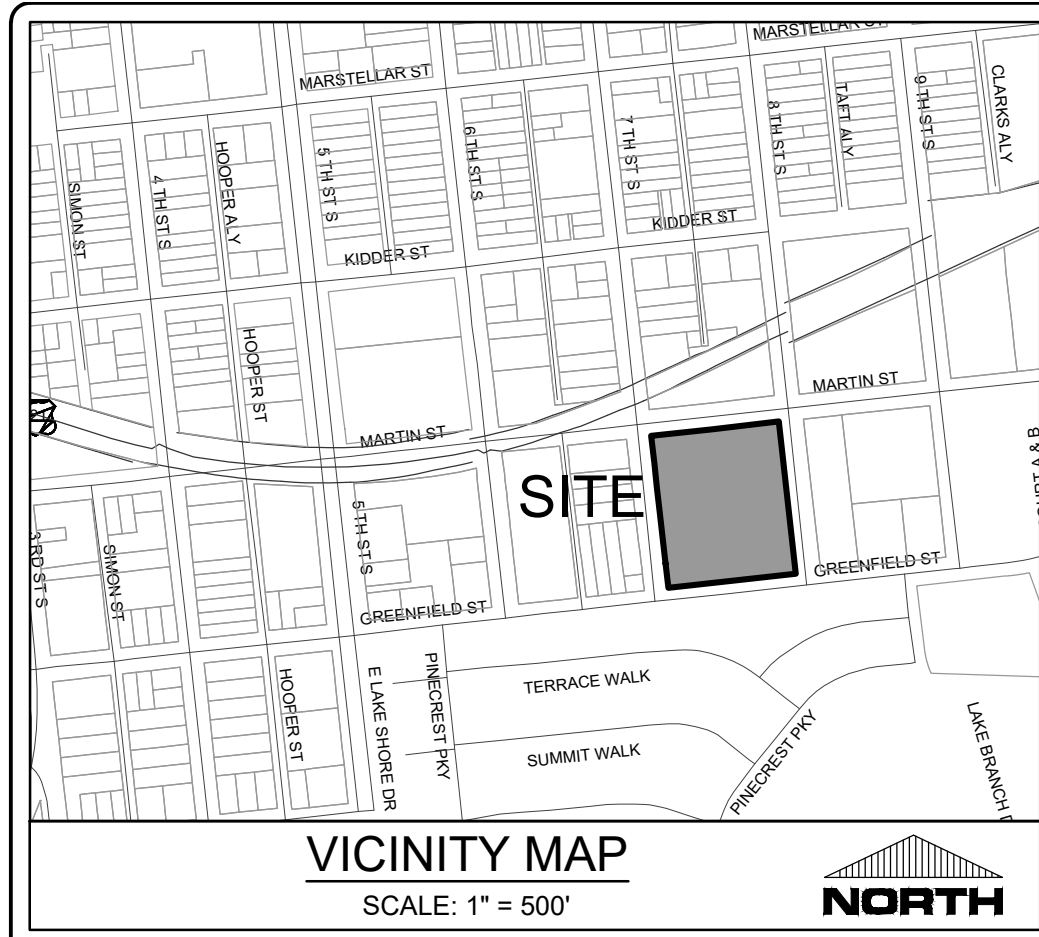
C-2.0  
PEI JOB#: 19321.PE

**MONTEITH CONSTRUCTION**  
208 PRINCESS STREET  
WILMINGTON, NC 28401

122 Cinema Drive  
Wilmington, North Carolina 28403  
(910) 791-0707 (O) (910) 791-6760 (F)  
NC License # C-2846

**TRU COLORS BREWERY**  
715 GREENFIELD STREET  
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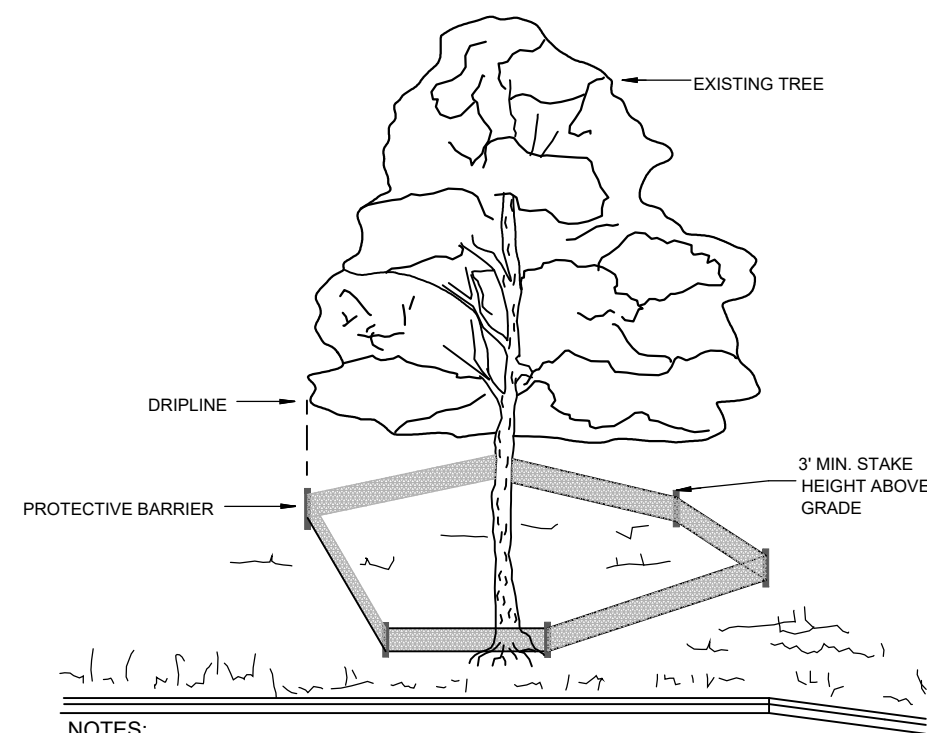
FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION



- DEMOLITION NOTES:**
- CONTRACTOR SHALL REFER TO SHEET C-1.0 GENERAL NOTES FOR DEMOLITION NOTES.
  - CONTRACTOR SHALL MAKE NO PAVEMENT CUTS INTO SURROUNDING STREETS WITHOUT THE WRITTEN PERMISSION OF THE CITY OF WILMINGTON.
  - ALL UTILITIES SHALL BE ABANDONED AND/OR DEMOLISHED AND CAPPED PROPERLY IN ACCORDANCE WITH THE UTILITY OWNERS' RULES AND REGULATIONS.
  - CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY OWNERS/PROVIDERS FOR RELOCATION AND/OR DEMOLITION REQUIRED.

- EX. VEGETATION NOTES:**
- EXISTING TREES ON-SITE ARE TO REMAIN.

SYMBOLS LEGEND	
	EXISTING CONCRETE TO BE REMOVED
	EXISTING ASPHALT TO BE REMOVED
	EXISTING UTILITY LINE TO BE REMOVED
	EXISTING STORM STRUCTURE TO BE REMOVED
	EXISTING SIGN/LIGHT/UTILITY POLE TO BE REMOVED
	EXISTING FENCE TO BE REMOVED
	TREE PROTECTION FENCING
	EXISTING TREE/SHRUBS TO BE REMOVED
	EXISTING BUILDING/STRUCTURE TO BE REMOVED
	EXISTING CURBING TO BE REMOVED



- NOTES:**
- TREES TO BE SAVED WILL BE CLEARLY MARKED PRIOR TO CONSTRUCTION
  - INSTALLATION OF PROTECTION FENCING IS REQUIRED PRIOR TO LAND DISTURBING ACTIVITY AND IS TO BE MAINTAINED UNTIL AFTER FINAL SITE INSPECTION
  - FENCING SHALL BE INSTALLED AT THE DRIPLINE OR AT THE BOUNDARY OF THE CRITICAL ROOT ZONE, WHICHEVER IS GREATER
  - DRIPLINE - THE AREA OF SOIL DIRECTLY BENEATH THE TREE EXTENDING OUT TO THE TIPS OF THE OUTERMOST BRANCHES
  - CRITICAL ROOT ZONE - 1' RADIUS FROM THE TREE TRUNK PER 1" CALIPER

**A** METHOD OF TREE PROTECTION DURING CONSTRUCTION  
NTS

NCDENR PWSS WATER PERMIT #: \_\_\_\_\_ GPD  
 WATER CAPACITY: \_\_\_\_\_ GPD  
 DWQ SEWER PERMIT #: \_\_\_\_\_ GPD  
 SEWER CAPACITY: \_\_\_\_\_ GPD  
 SEWER SHED # AND PLANT: \_\_\_\_\_  
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

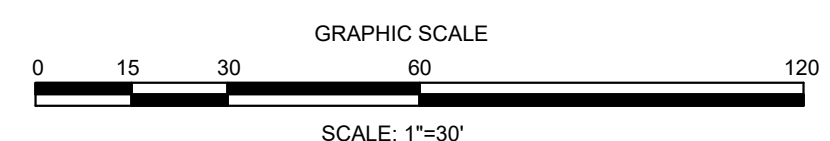
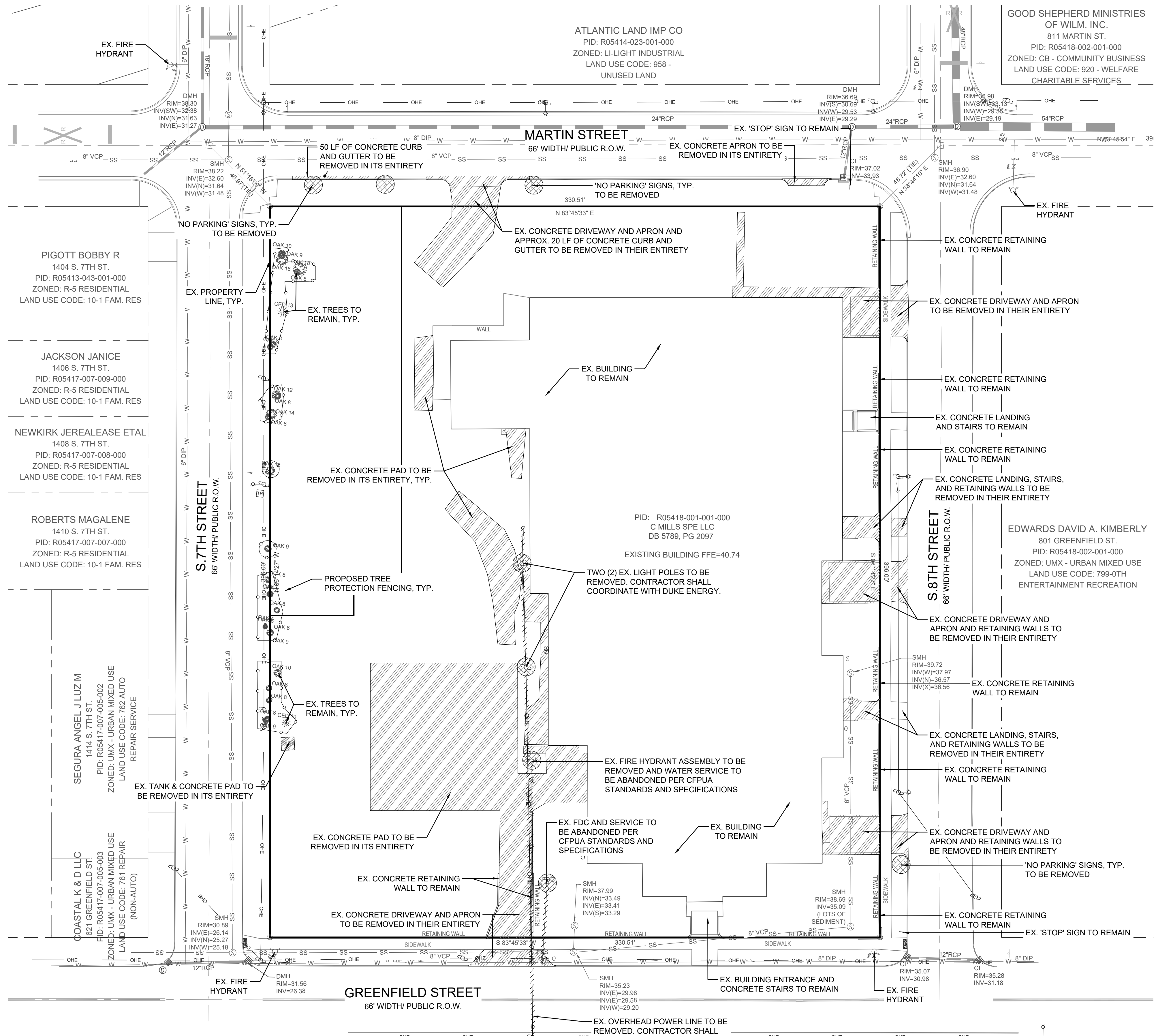
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**Approved Construction Plan**  
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 Traffic \_\_\_\_\_  
 Fire \_\_\_\_\_



LAKE FOREST INV.  
 250 PINECREST PKY.  
 PID: R05418-003-001-000  
 ZONED: R-5 RESIDENTIAL  
 LAND USE CODE: 12-3 + FAMILY RES.



REVISIONS:

CLIENT INFORMATION:

**PARAMOUNT ENGINEERING**

MONTEITH CONSTRUCTION  
 208 PRINCESS STREET  
 WILMINGTON, NC 28401

122 Cinema Drive  
 Wilmington, North Carolina 28403  
 (910) 791-0707 (O) (910) 791-6760 (F)  
 NC License #: C-2846

**DEMOLITION PLAN**  
 TRU COLORS BREWERY  
 715 GREENFIELD STREET  
 WILMINGTON, NORTH CAROLINA

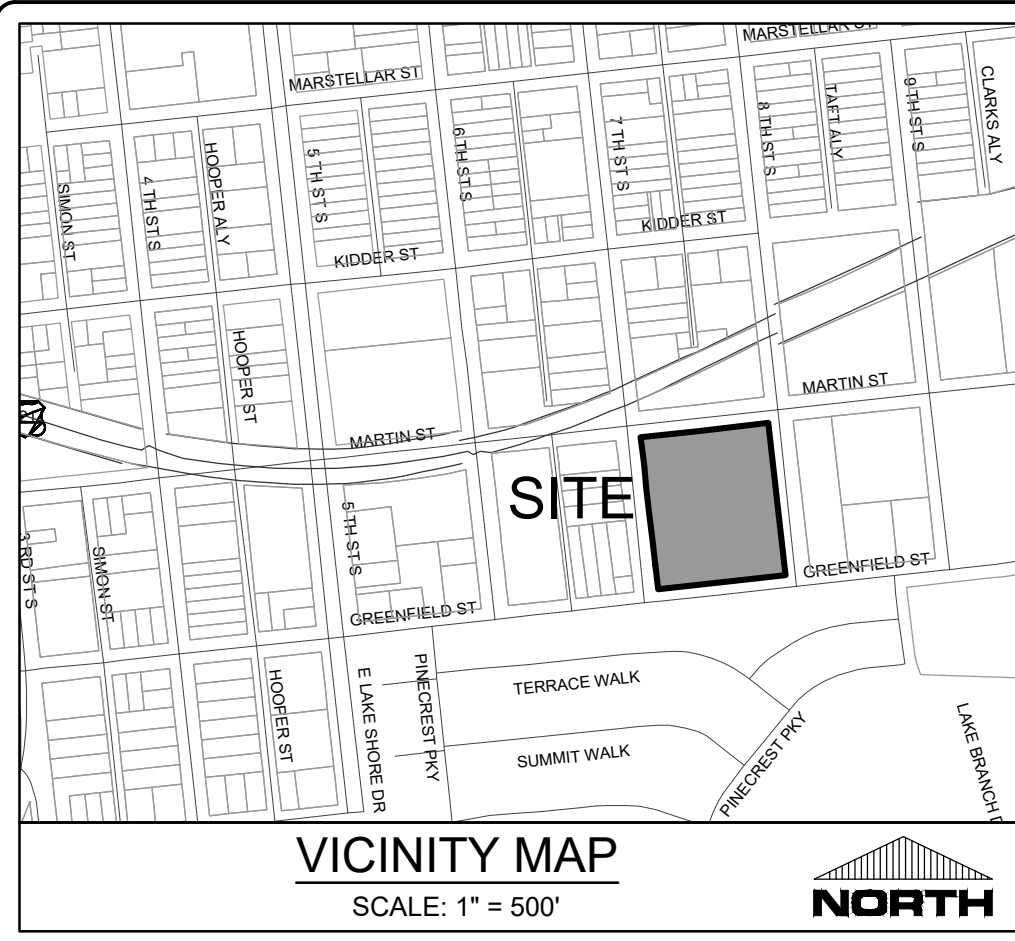
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**DRAWING INFORMATION**  
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 1" AEC  
 AEC  
 AEC  
 AEC  
 AEC

Professional Seal  
 redacted on electronic  
 copy per City of  
 Wilmington Policy

**C-2.1**

PEI JOB#: 19321.PE

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION



**SITE DATA TABULATION**

**PROJECT NAME & ADDRESS:** TRU COLORS BREWERY  
715 GREENFIELD STREET  
WILMINGTON NC, 28401

**PROPERTY OWNER:** TRUE COLORS HOLDINGS, INC.  
21 S. FRONT STREET  
WILMINGTON, NC 28401

**TAX PARCEL IDENTIFICATION #:** R05418-001-001-000

**RECORDED MAP BOOK:** BK 6252, PG 1875-1878

**TOTAL SITE AREA:** 3.00 ACRES (130,897 SF)

**CURRENT ZONING:** UMX (URBAN MIXED USE)  
**CAMA LAND USE CLASSIFICATION:** URBAN

**BUILDING DATA**

NUMBER OF BUILDINGS: 1  
 MAXIMUM ALLOWABLE BUILDING HEIGHT: 45 FT.  
 EX. BUILDING HEIGHT: 21 FT.  
 PROPOSED BUILDING HEIGHT: 21 FT.  
 EXISTING LAND USE: VACANT MANUFACTURING BLDG.  
 PROPOSED LAND USE: BREWERY, ADMIN. OFFICES, DAYCARE, CLINIC, RESTAURANT

NUMBER OF STORIES: 1  
 TOTAL BUILDING AREA: EXISTING: 51,243 SQ. FT.  
 PROPOSED: 13,243 SQ. FT.  
 TOTAL BUILDING AREA: 64,486 SQ. FT.

BUILDING LOT COVERAGE: 49.3%  
 PROPOSED BLDG. CONSTRUCTION: IIB

**SETBACK STANDARDS**  
 INSIDE THE 1945 CORPORATE LIMITS, NO SETBACKS ARE REQUIRED EXCEPT WHERE ABUTTING A SINGLE-FAMILY RESIDENTIAL DISTRICT, EXCLUDING STREET AND ALLEY RIGHTS-OF-WAY. BLDGS. ARE WITHIN 10-FT OF A PROPERTY LINE PER UMX ZONING.

**PARKING REQUIREMENTS**  
 FOR UMX ZONING, THERE ARE NO MINIMUM PARKING REQUIREMENTS. PARKING SHALL NOT EXCEED THE MAXIMUM PARKING REQUIREMENTS ESTABLISHED FOR ANY USE IN ARTICLE 9 OF THIS CHAPTER.

PER CITY OF WILMINGTON MUNICIPAL CODE, SECTION 18-532:  
 RESTAURANT - STANDARD OR FAST-FOOD  
 MAX. ALLOWED

1 SPACE PER 2.5 SEATS
160 SEATS / 2.5 = 64 SPACES

**PARKING LOT SPACES PROVIDED:** 36 SPACES

HC SPACES REQUIRED (ON-SITE): 2 SPACES  
 HC SPACES PROVIDED (ON-SITE): 3 SPACES (1 VAN ACCESSIBLE)

**BICYCLE PARKING**  
 REQUIRED: COMMERCIAL/REST. SPACE: 5 SPACES / 1,000 SQ. FT. (6002 / 1000 = 6 SPACES)  
 OFFICE/INDUSTRIAL SPACE: 1 SPACE / 5,000 SQ. FT. (51,243 SF / 5000 = 10 SPACES)  
 PROVIDED: 16 SPACES

**FLOOD NOTE**  
 THIS PARCEL IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FEMA FLOOD MAP NO. 3720312700K BEARING AN EFFECTIVE DATE OF 8/28/2018.

**ZONING OVERLAY NOTE**  
 THE SUBJECT PARCEL DOES NOT LIE WITHIN A SPECIAL OVERLAY DISTRICT.

**SITE IMPERVIOUS INFORMATION**

EXISTING IMPERVIOUS:	68,200 SF
EXISTING IMPERVIOUS TO BE REMOVED:	12,110 SF
EXISTING IMPERVIOUS TO REMAIN	56,090 SF

**PROPOSED IMPERVIOUS AREA**

BUILDINGS	13,250 SF
ON-SITE SIDEWALKS/DUMPSTERS	3,450 SF
FUTURE	7,500 SF
ASPHALT/CONCRETE/CURB & GUTTER	18,900 SF
TOTAL PROPOSED IMP. AREA	43,100 SF (0.99 AC)

NET IMPERVIOUS AREA = PROPOSED - EXISTING = 30,990 SF  
 PROPOSED PERCENT IMPERVIOUS 87,080 SF / 130,897 SF = 66.5%

**WASTE DISPOSAL**  
 WASTE DISPOSAL WILL BE PROVIDED WITH A CENTRAL DUMPSTER LOCATION. THIS LOCATION HAS BEEN NOTED ON THE PLAN. ALL TRASH-HANDLING AND RELATED EQUIPMENT SHALL BE COMPLETELY ENCLOSED AND SCREENED WITH AN OPAQUE FENCE OR WALL. THE ENCLOSURE SHALL BE AT LEAST ONE (1) FOOT TALLER THAN THE HIGHEST POINT OF THE TRASH RECEPTACLE.

- SITE CIVIL KEY NOTES:**
- PROPOSED SUBDIVISION LINE UMX ZONING FOR PARKING LOT
  - ASPHALT PAVEMENT: REFER TO DETAILS
  - STANDARD 24" CURB & GUTTER: REFER TO DETAILS
  - CONCRETE SIDEWALK (WIDTH VARIES): REFER TO DETAILS
  - HANDICAP PARKING SIGN: REFER TO DETAILS
  - HANDICAP PARKING SYMBOL: REFER TO DETAILS
  - HANDICAP ACCESS UNLOADING ZONE: SLOPE 2% MAX. EACH WAY (ADA COMPLIANT) AND STRIPE AS SHOWN.
  - ADA RAMP (SIDEWALK): SEE DETAILS
  - DETECTIBLE WARNING MAT: REFER TO DETAILS
  - EXISTING DETECTIBLE WARNING MAT:
  - FIRE AND EMERGENCY VEHICLE TURNAROUND: ANGLE PAINT CITY FIRE DEPT. 'RED'
  - NO PARKING SIGN FIRE ACCESS ONLY
  - STRIPING: 4" WHITE PARKING LOT STRIPING
  - UNDERGROUND INFILTRATION SYSTEM: (SEE STORM PLANS AND DETAILS)
  - SITE LIGHTING: TYPE T.B.D. (POLES TO BE LESS THAN 12' IN HEIGHT)
  - C.O.W. SIGHT DISTANCE TRIANGLES: 20'x70' SDT AT DRIVEWAYS & 46'x46' SDT AT INTERSECTIONS. ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES THAT IS NOT EXEMPT IN THE CENTRAL BUSINESS DISTRICT SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10'.
  - DUMPSTER CORRALL SEE LANDSCAPE PLAN AND DETAILS
  - C.O.W. STANDARD COMMERCIAL DRIVEWAY APRON REFER TO DETAILS
  - WHEEL STOPS REFER TO DETAILS
  - 4-FT ALUMINUM PICKET FENCE SEE ARCHITECTURAL PLANS
  - RETAINING WALLS SEE ARCHITECTURAL PLANS
  - LOADING/UNLOADING ZONES DESIGNATED SPACE ON-STREET

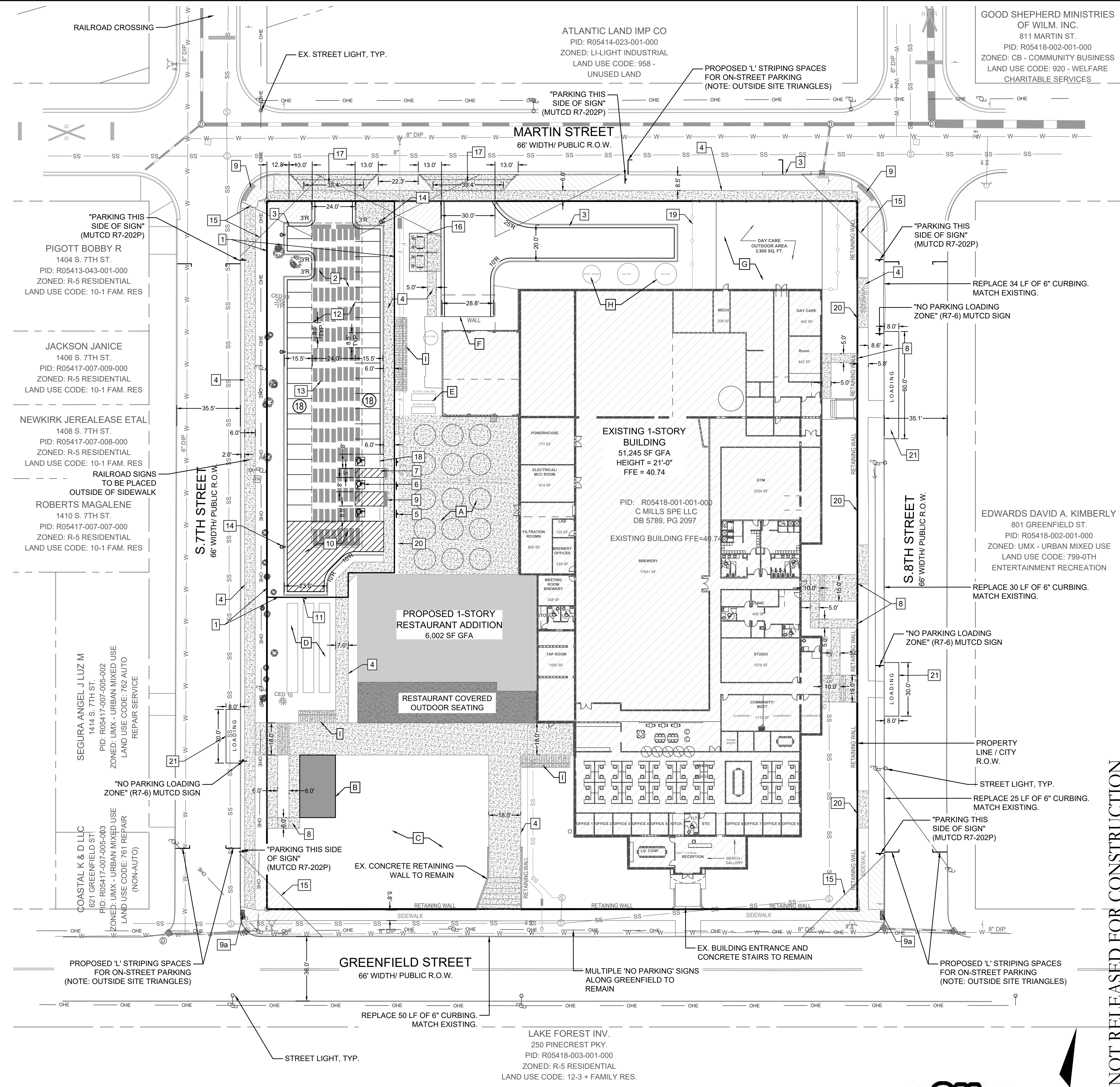
- SITE ARCHITECT KEY NOTES:**
- OUTDOOR FERMENTATION TANK CURRENT AND FUTURE SPACE
  - COVERED STAGE
  - LAWN OPEN AREA
  - OUTDOOR GAME AREA
  - CHILLER UNITS
  - LOADING DOCK
  - DAYCARE PLAYGROUND
  - GRAIN SILOS
  - BIKE RACKS MIN. 6-SPACE RACKS (MIN. 16 REQ'D)

**PROPOSED USES & ASSOCIATED SQUARE FOOTAGE**

USE	SF GFA
Administration (ie. offices, reception, conference rooms)	5,654
Community Center / Classrooms	1,110
Studio	1,076
Clinic	409
Gym	2,354
Daycare (indoor & outdoor playground)	3,784
Brewery / Manufacturing	36,858
Restaurant (includes kitchen & seating area)	6,002
<b>Total Building Uses =</b>	<b>57,247</b>
Outdoor Fermentation Area	6,030
Covered Stage	700
Lawn Open Area	9,175
Outdoor Game Area	2,704
<b>Total Outdoor Uses =</b>	<b>18,609</b>

**WATER AND SEWER CAPACITY**  
 \*ALL EXISTING WATER AND SEWER UTILITIES ARE OWNED BY CFPWA\*  
 SANITARY SEWER  
 EXISTING = 0 GPD  
 PROPOSED = 10,477 GPD

WATER  
 EXISTING = 0 GPD  
 PROPOSED = 10,477 GPD



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 NORTH CAROLINA  
 Public Services • Engineering Division  
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 Signed: \_\_\_\_\_

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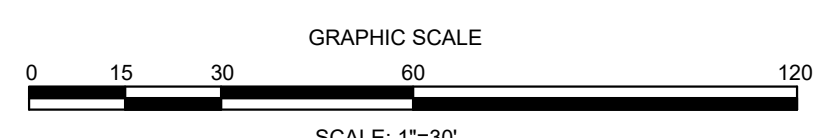
Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Traffic \_\_\_\_\_

Fire \_\_\_\_\_

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**REVISIONS:**

**CLIENT INFORMATION:**  
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 (910) 791-6707 (O) (910) 791-6700 (F)  
 NC License #: C-2846

**SITE PLAN**

**TRU COLORS BREWERY**  
 715 GREENFIELD STREET  
 WILMINGTON, NORTH CAROLINA

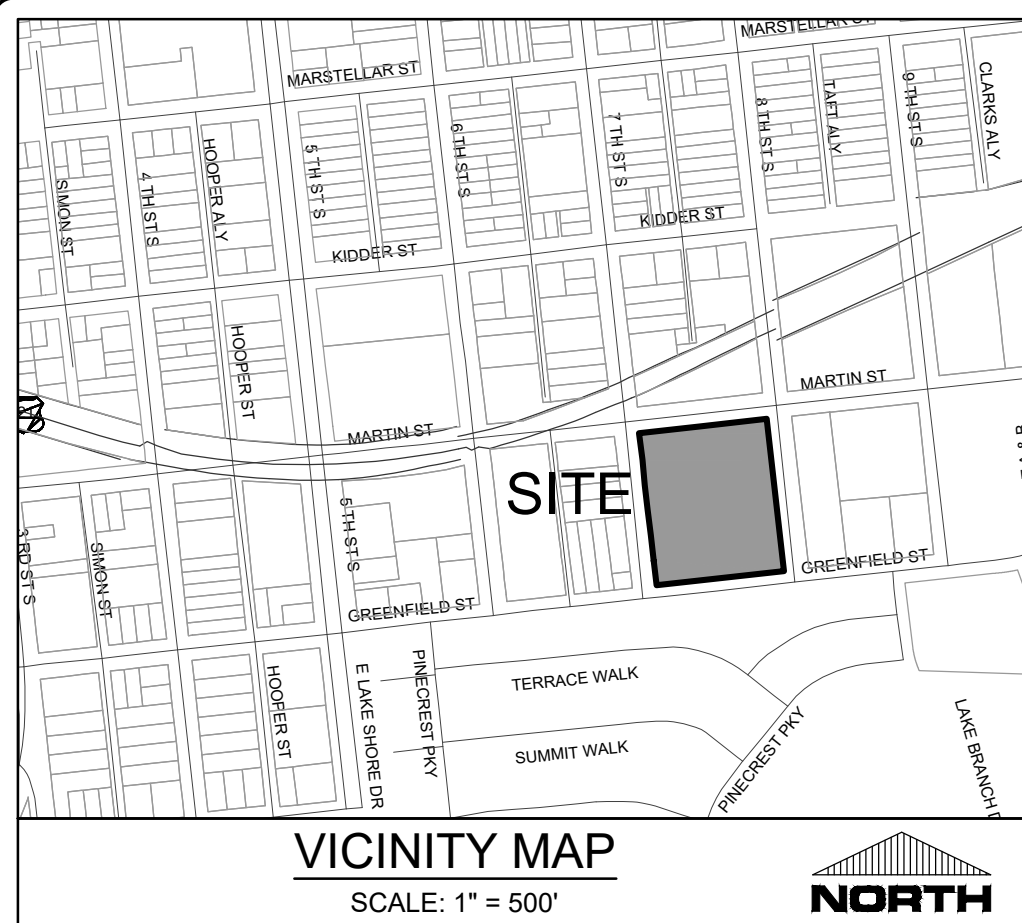
**PROJECT STATUS:**  
 CONCEPTUAL LAYOUT: \_\_\_\_\_  
 FINAL DESIGN: \_\_\_\_\_  
 RELEASED FOR CONSTRUCTION: \_\_\_\_\_

**DRAWING INFORMATION:**  
 DRAWN BY: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_  
 SCALE: 1"=30'  
 DATE: \_\_\_\_\_

Professional Seal redacted on electronic copy per City of Wilmington Policy

**C-2.2**

PEI JOB#: 19321.PE



**SITE DATA TABULATION**

**PROJECT NAME & ADDRESS:** TRU COLORS BREWERY  
715 GREENFIELD STREET  
WILMINGTON NC, 28401

**PROPERTY OWNER:** TRUE COLORS HOLDINGS, INC.  
21 S. FRONT STREET  
WILMINGTON NC 28401

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**RECORDED MAP BOOK:** BK 6252, PG 1875-1878

**TOTAL SITE AREA:** 3.00 ACRES (130,897 SF)

**CURRENT ZONING:** UMX (URBAN MIXED USE)

**CAMA LAND USE CLASSIFICATION:** URBAN

**UTILITY INFORMATION**  
CONTRACTOR SHALL INSTALL WATER AND SEWER SERVICES IN ACCORDANCE WITH CFPUA STANDARD DETAILS AND SPECIFICATION.

**SANITARY SEWER**  
THIS PROJECT WILL CONNECT TO EXISTING 8" SANITARY MAIN LOCATED IN THE EXISTING UTILITY EASEMENT (MB 16, PG 13). THIS PROJECT IS CONSTRUCTING A 6" SANITARY SERVICE. ALL SANITARY SEWER ALLOCATION IS PROVIDED BY THE CFPUA.

**WATER**  
THIS PROJECT WILL CONNECT TO EXISTING 2" METER LOCATED ON PROPERTY (CONNECTED TO 8" WATER MAIN LOCATED IN ECHO FARMS BOULEVARD). THIS PROJECT IS CONSTRUCTING A 2-1/2" DOMESTIC WATER SERVICE. DOMESTIC WATER ALLOCATION PROVIDED BY CFPUA. EX. CLUBHOUSE AND EX. WATER METER TO REMAIN IN USE DURING CONSTRUCTION OF PROPOSED CLUBHOUSE. ONCE PROPOSED CLUBHOUSE IS OPERATIONAL, EX. CLUBHOUSE TO BE DEMOLISHED IN ITS ENTIRETY AND EX. WATER METER TO BE PROPERLY DISCONNECTED WITH COORDINATION AND APPROVAL THROUGH CFPUA.

**WATER AND SEWER CAPACITY**  
\*ALL EXISTING WATER AND SEWER UTILITIES ARE OWNED BY CFPUA\*

**SANITARY SEWER**  
EXISTING = 0 GPD  
PROPOSED = 10,477 GPD

**WATER**  
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PROPOSED = 10,477 GPD

**LAND CLEARING**  
PRIOR TO ANY LAND CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.

**MISCELLANEOUS NOTES**  
1. CONTACT TRAFFIC ENGINEERING AT 910-341-7888 48-HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.

**FIRE & LIFE SAFETY NOTES**

- NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO THE DELIVERY OF ANY COMBUSTIBLE MATERIALS TO SITE AND BEFORE CONSTRUCTION OF THE BUILDINGS WITHIN ANY DEVELOPMENT.
- HYDRANTS MUST BE LOCATED WITHIN 8-FT OF THE CURB AND WITHIN 150-FT OF THE FIRE DEPARTMENT CONNECTION, MEASURED AS THE TRUCK DRIVES.
- CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- A MINIMUM OF 4-FT SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS FROM OTHER UNDERGROUND UTILITIES.
- UNDERGROUND FIRE LINES FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING(S) MUST BE PERMITTED AND INSPECTED BY THE BUILDING INSPECTIONS / FIRE MARSHALL'S OFFICE FIRE SERVICES AGENCY. PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE UNDERGROUND FIRE LINE PERMIT FROM THE WILMINGTON FIRE AND LIFE SAFETY DIVISION (910-343-0696).
- CONTRACTOR SHALL SUBMIT A RADIO SIGNAL STRENGTH STUDY FOR ALL COMMERCIAL BUILDINGS THAT DEMONSTRATES THAT EXISTING EMERGENCY RESPONDER RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF SECTION 510 OF THE 2018 NC FIRE CODE.
- ALL ISOLATION VALVES WITHIN THE "HOT BOX" AND BETWEEN THE "HOT BOX" AND THE RISER ROOM, MUST BE ELECTRICALLY SUPERVISED.
- FIRE DEPARTMENT CONNECTIONS (FDCs) MUST BE APPROVED BY THE FIRE MARSHALL'S OFFICE AND BE ACCESSIBLE TO FIRE APPARATUS EQUIPMENT. FDCs MUST BE WITHIN 40-FT OF FIRE APPARATUS PLACEMENT.
- ADDITIONAL FIRE PROTECTION AND/OR ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
- LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDED FDC OR FIRE HYDRANTS. A 3-FT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF HYDRANTS AND FDC.

- UTILITY NOTES: (NCAC 15A.02T.0305 / T15A.18C.0904-906)**
- WATER MAINS SHALL BE LAID SO AS TO PROVIDE A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FROM SEWERS. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, THE WATER MAIN CAN BE INSTALLED AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, EITHER IN A SEPARATE TRENCH, OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH.
  - WHEN CROSSING A WATER MAIN OVER A SEWER, THE WATER MAIN SHALL BE LAID AT LEAST 18 INCHES ABOVE THE SEWER. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH JOINTS THAT MEET WATER MAIN STANDARDS. THE DUCTILE IRON PIPE SHALL EXTEND 10 FEET ON EACH SIDE OF THE CROSSING WITH A SECTION OF WATER MAIN PIPE CENTERED ON THE CROSSING.
  - CROSSING A WATER MAIN UNDER A SEWER, WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.
  - WHERE VERTICAL CLEARANCE IS LESS THAN 24" BETWEEN SANITARY SEWER AND STORM DRAIN, SANITARY SEWER SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE RC PIPE. OTHERWISE, A 12" MIN. SEPARATION SHALL BE CONSTRUCTED.
  - WHERE VERTICAL CLEARANCE IS LESS THAN 18" BETWEEN WATER MAIN AND STORM DRAIN WHEN STORM IS ABOVE WATER, WATER MAIN SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE RC PIPE. OTHERWISE, A 12" MIN. SEPARATION SHALL BE CONSTRUCTED.
  - MATERIALS, INSTALLATION, AND TESTING FOR PRIVATE UTILITIES SHALL BE IN ACCORDANCE WITH CFPUA SPECIFICATIONS.
  - CONTRACTOR SHALL ABANDON ALL UNUSED SEWER AND WATER TAPS.
  - WATER MAINS SHALL BE BURIED A MIN. OF 36-INCHES OR DEPTH BELOW THE FROST-LINE OR GREATER IF THE LOCAL UTILITY PROVIDER REQUIRES.



LAKE FOREST INV.  
250 PINECREST PKY.  
PID: R05418-003-001-000  
ZONED: R-5 RESIDENTIAL  
LAND USE CODE: 12-3 + FAMILY RES.

ATLANTIC LAND IMP CO  
PID: R05414-023-001-000  
ZONED: LI-LIGHT INDUSTRIAL  
LAND USE CODE: 958 - UNUSED LAND

GOOD SHEPHERD MINISTRIES OF WILM. INC.  
811 MARTIN ST.  
PID: R05418-002-001-000  
ZONED: CB - COMMUNITY BUSINESS  
LAND USE CODE: 920 - WELFARE CHARITABLE SERVICES

PIGOTT BOBBY R  
1404 S. 7TH ST.  
PID: R05413-043-001-000  
ZONED: R-5 RESIDENTIAL  
LAND USE CODE: 10-1 FAM. RES

JACKSON JANICE  
1406 S. 7TH ST.  
PID: R05417-007-009-000  
ZONED: R-5 RESIDENTIAL  
LAND USE CODE: 10-1 FAM. RES

ROBERTS MAGALENE  
1410 S. 7TH ST.  
PID: R05417-007-007-000  
ZONED: R-5 RESIDENTIAL  
LAND USE CODE: 10-1 FAM. RES

SEGURA ANGEL J LUZ M  
1414 S. 7TH ST.  
PID: R05417-007-005-002  
ZONED: UMX - URBAN MIXED USE  
LAND USE CODE: 762 AUTO REPAIR SERVICE

COASTAL K & D LLC  
621 GREENFIELD ST.  
PID: R05417-007-005-003  
ZONED: UMX - URBAN MIXED USE  
LAND USE CODE: 761 REPAIR (NON-AUTO)

**Approved Construction Plan**

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Traffic \_\_\_\_\_

Fire \_\_\_\_\_

Date: \_\_\_\_\_ Permit # \_\_\_\_\_

Signed: \_\_\_\_\_

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

**REVISIONS:**

**CLIENT INFORMATION:**  
MONTEITH CONSTRUCTION  
208 PRINCESS STREET  
WILMINGTON, NC 28401

**PARAMOUNT ENGINEERING & CONSULTING**  
122 Cinema Drive  
Wilmington, North Carolina 28403  
(910) 791-6707 (O) (910) 791-6700 (F)  
NC License #: C-2846

**UTILITY PLAN**  
TRU COLORS BREWERY  
715 GREENFIELD STREET  
WILMINGTON, NORTH CAROLINA

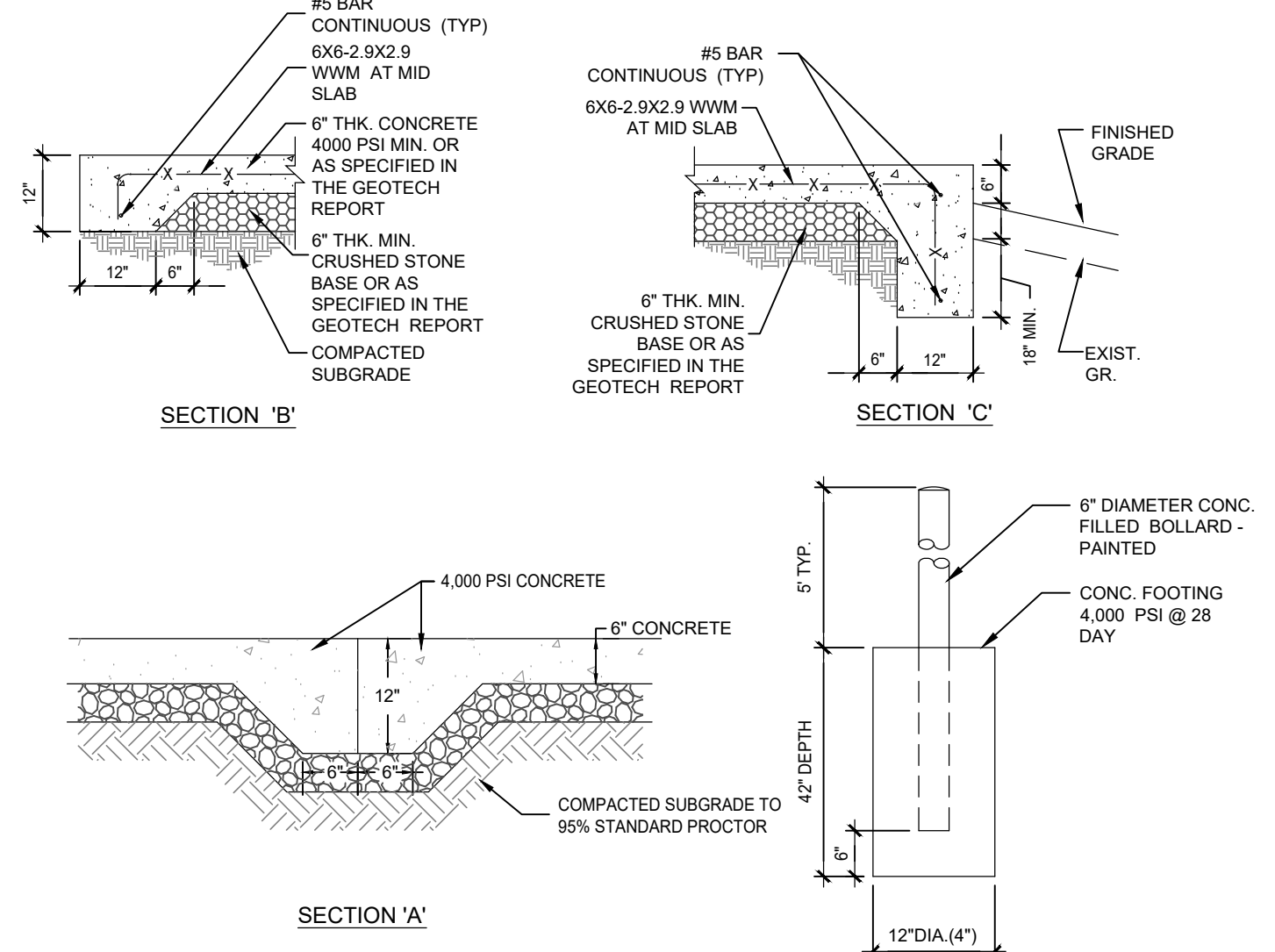
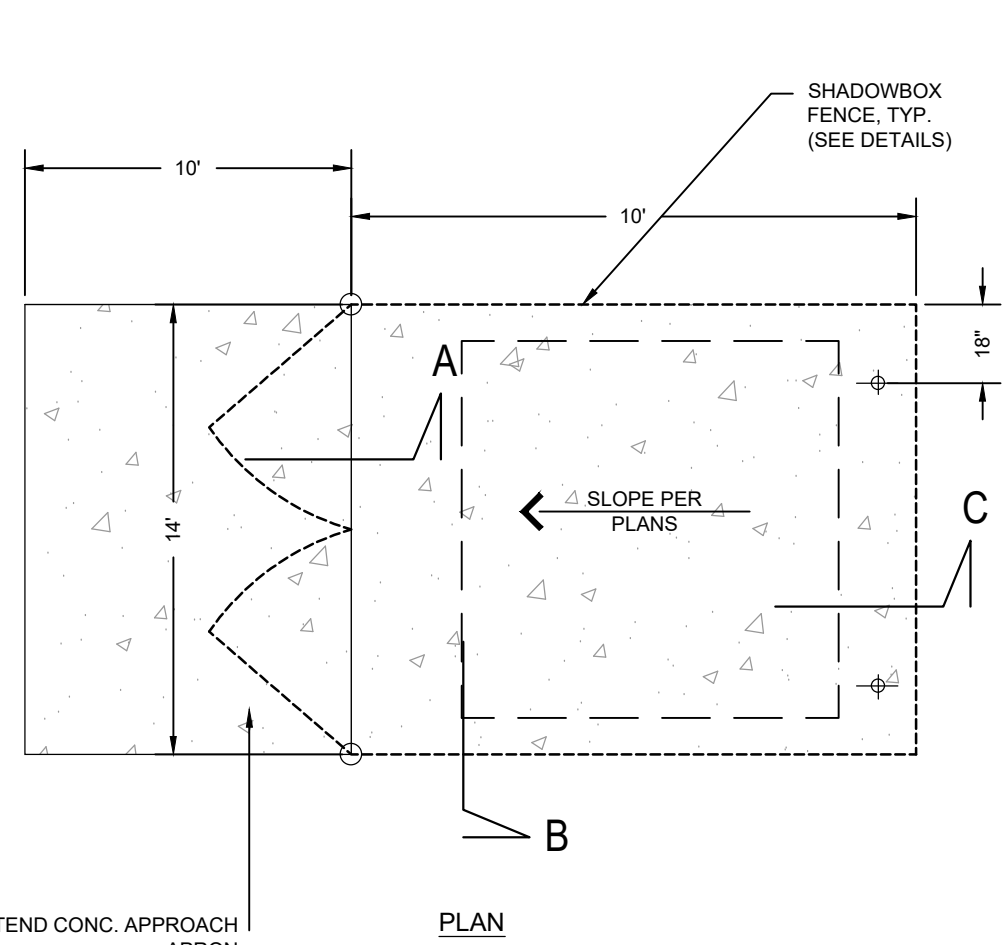
**PROJECT STATUS:**  
PRELIMINARY LAYOUT  
RELEASED FOR CONSTRUCTION

**DRAWING INFORMATION:**  
DATE: 12/06/19  
SCALE: 1" = 30'  
DRAWN: JAC  
CHECKED: JES

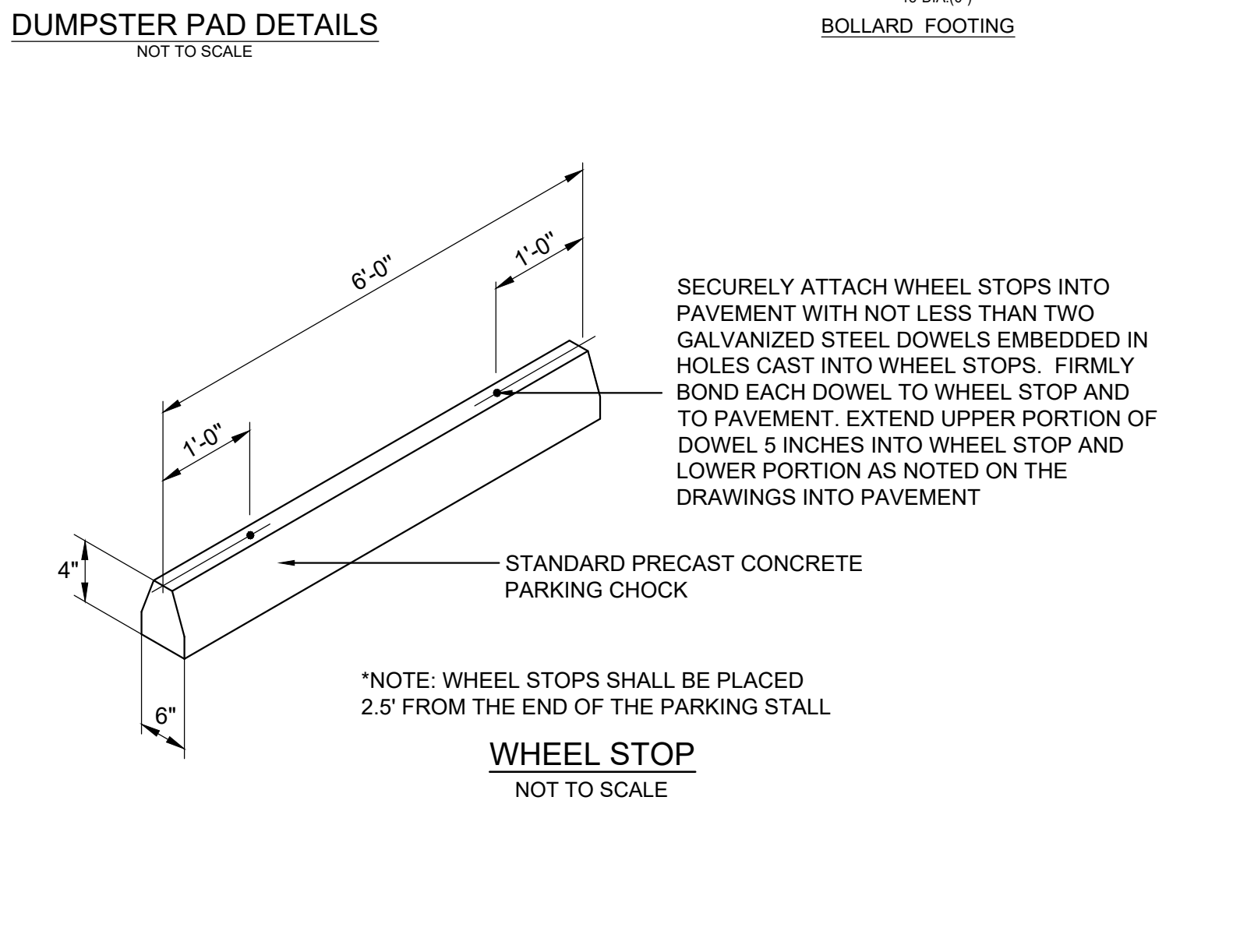
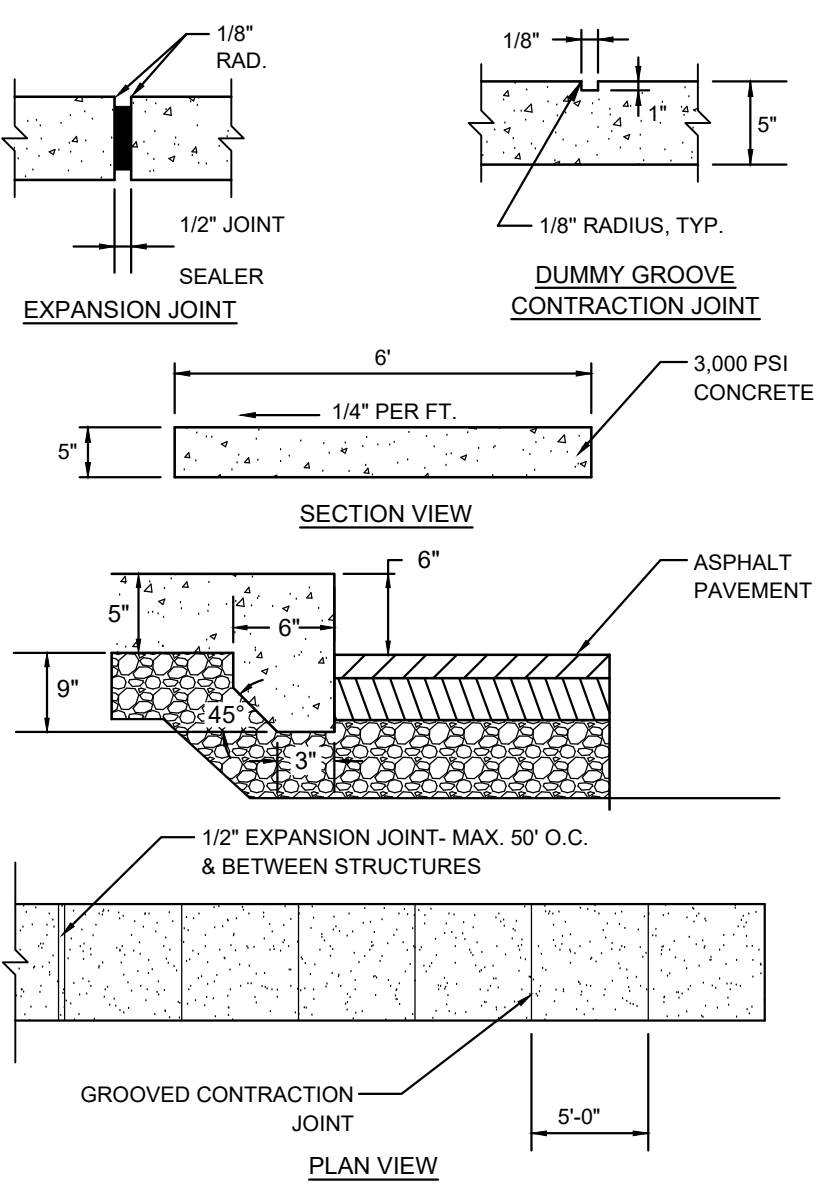
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**C-5.0**

PEI JOB#: 19321.PE

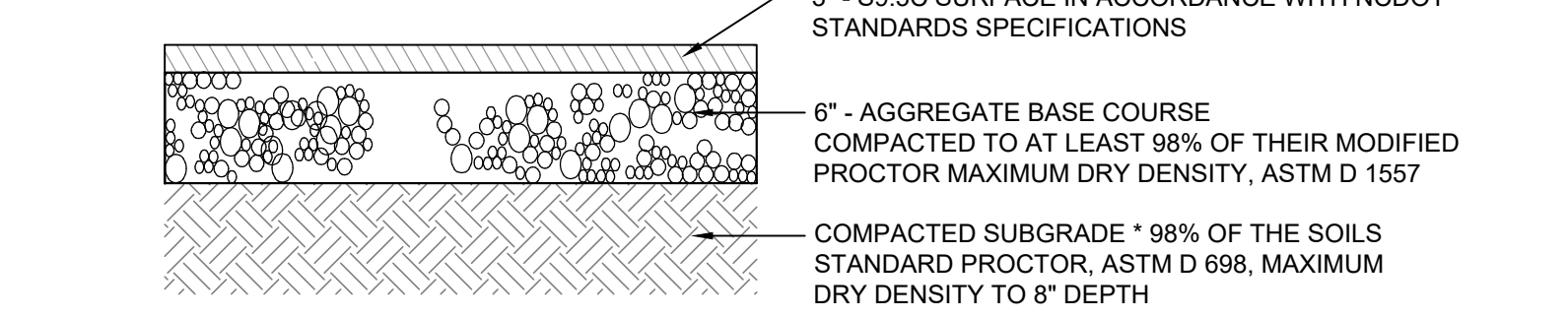


**DUMPSTER PAD DETAILS**  
NOT TO SCALE

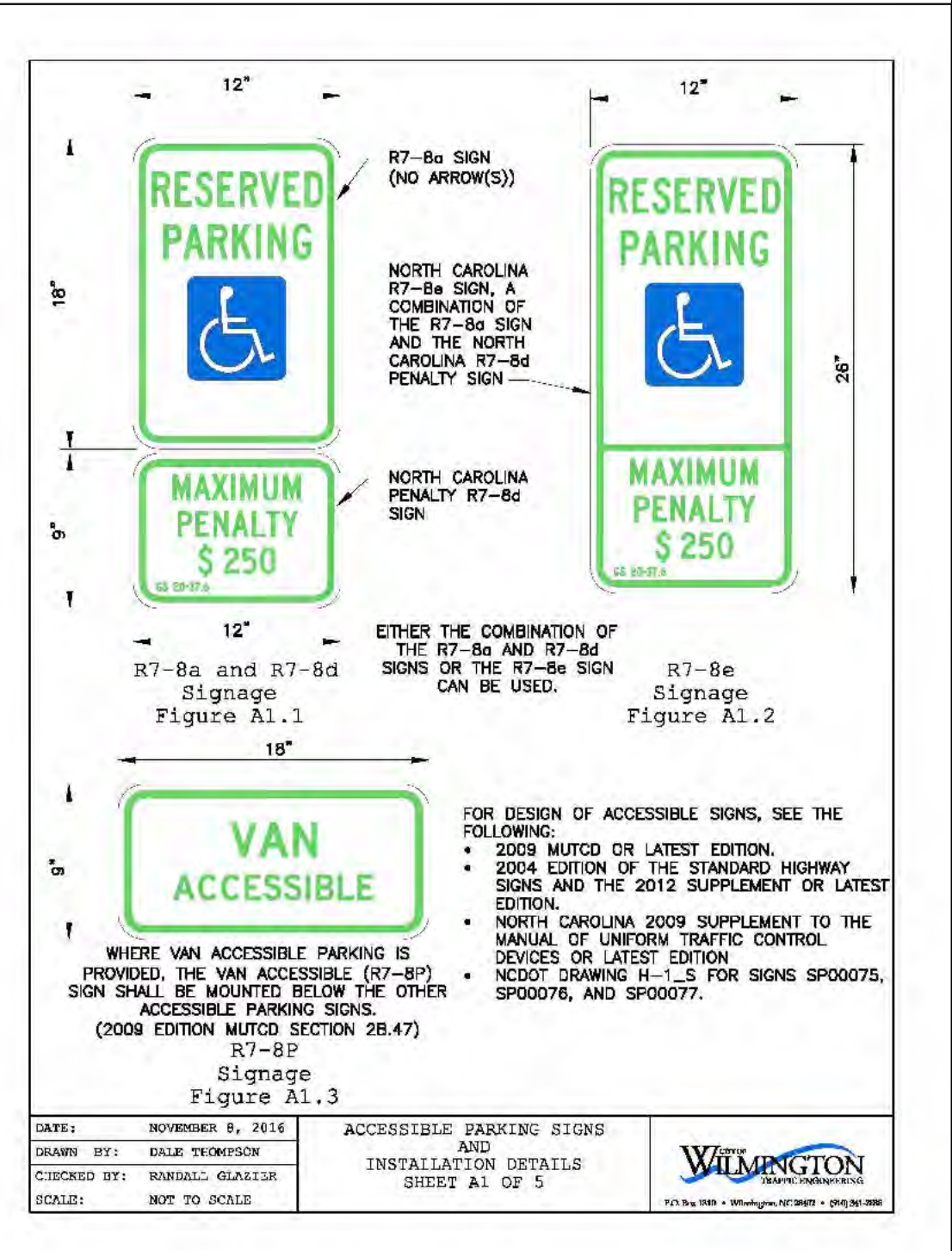


\*NOTE: WHEEL STOPS SHALL BE PLACED 2.5' FROM THE END OF THE PARKING STALL

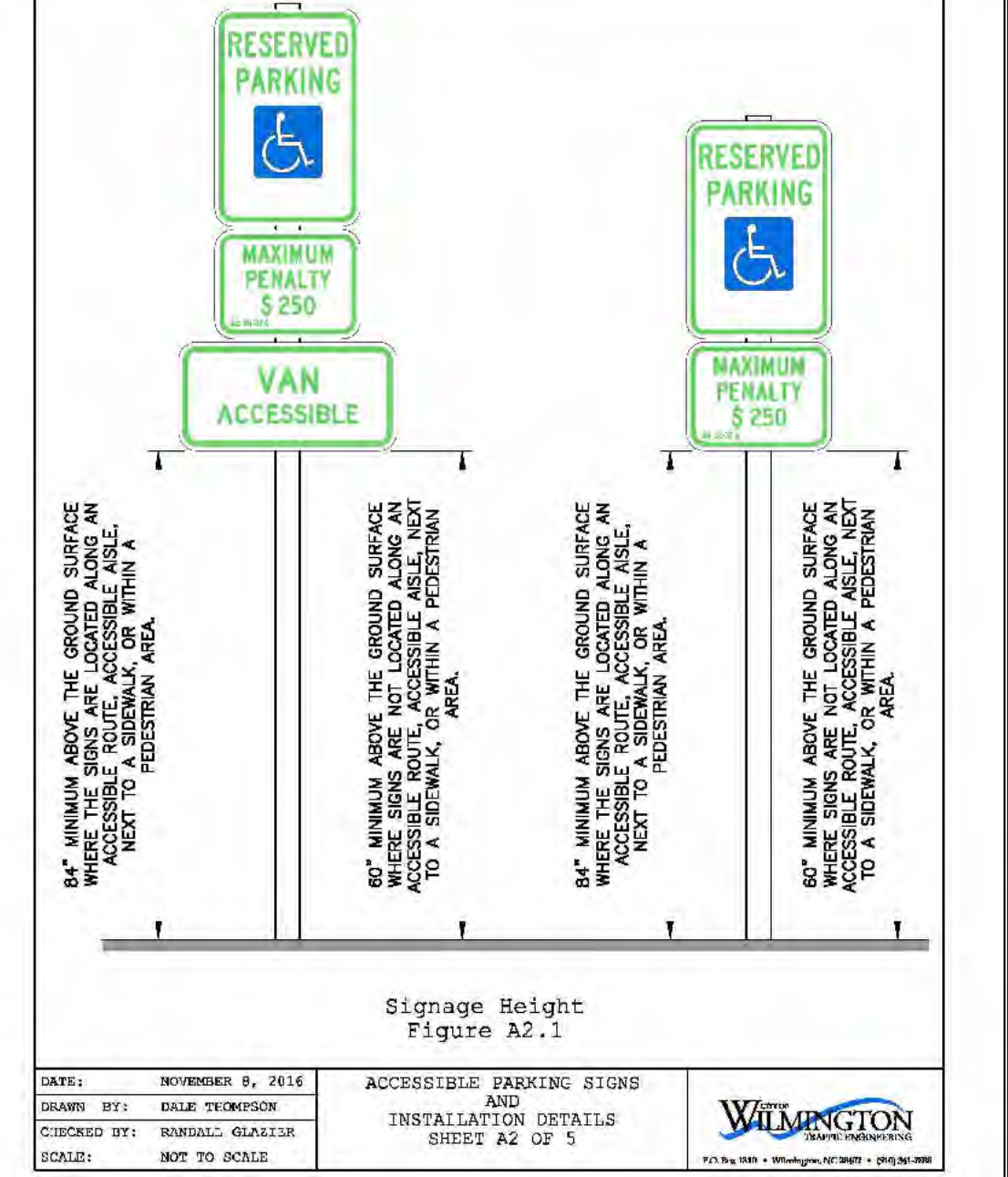
**SIDEWALK DETAIL**  
N.T.S.



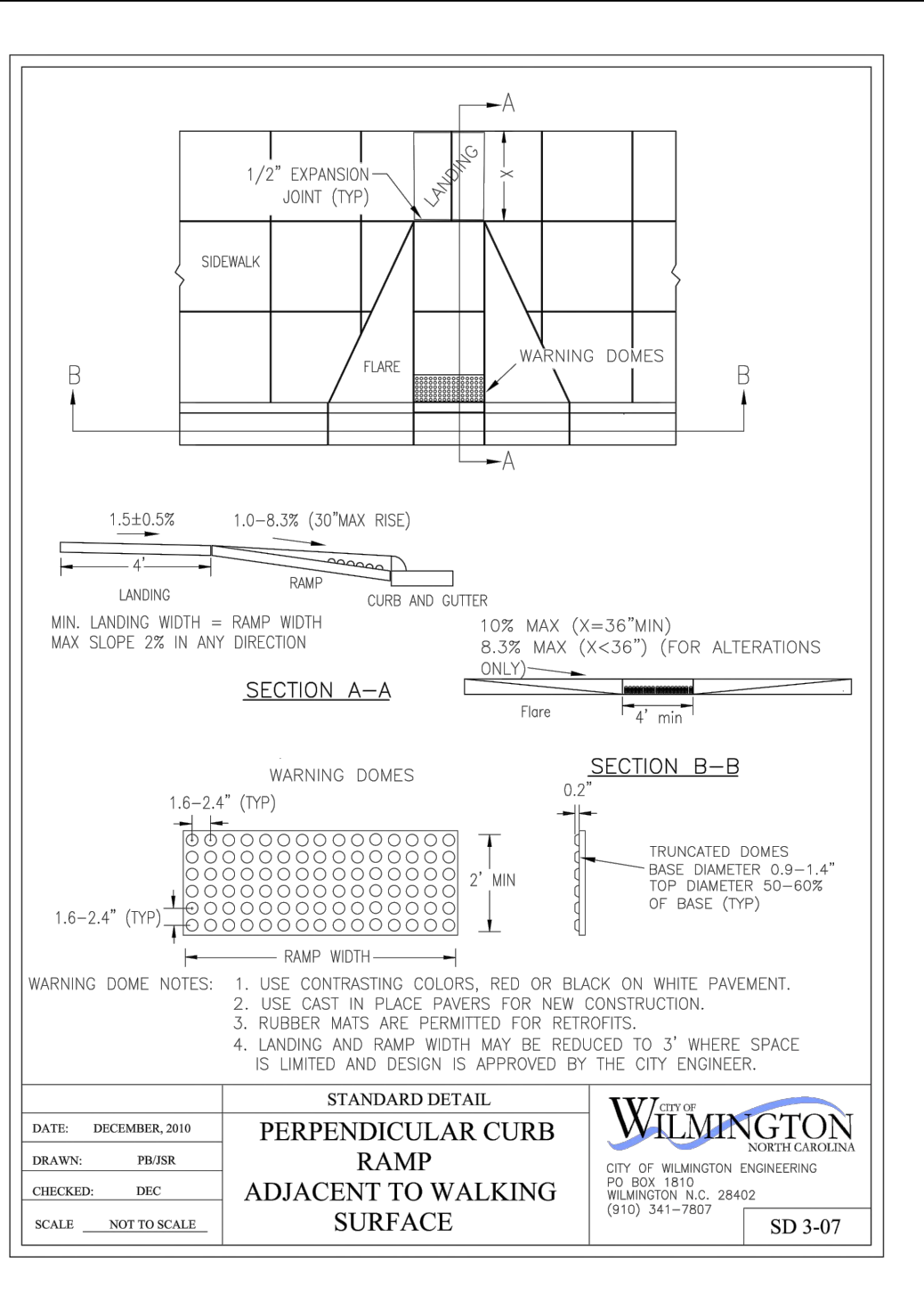
**TYPICAL PAVEMENT SECTION**  
N.T.S.



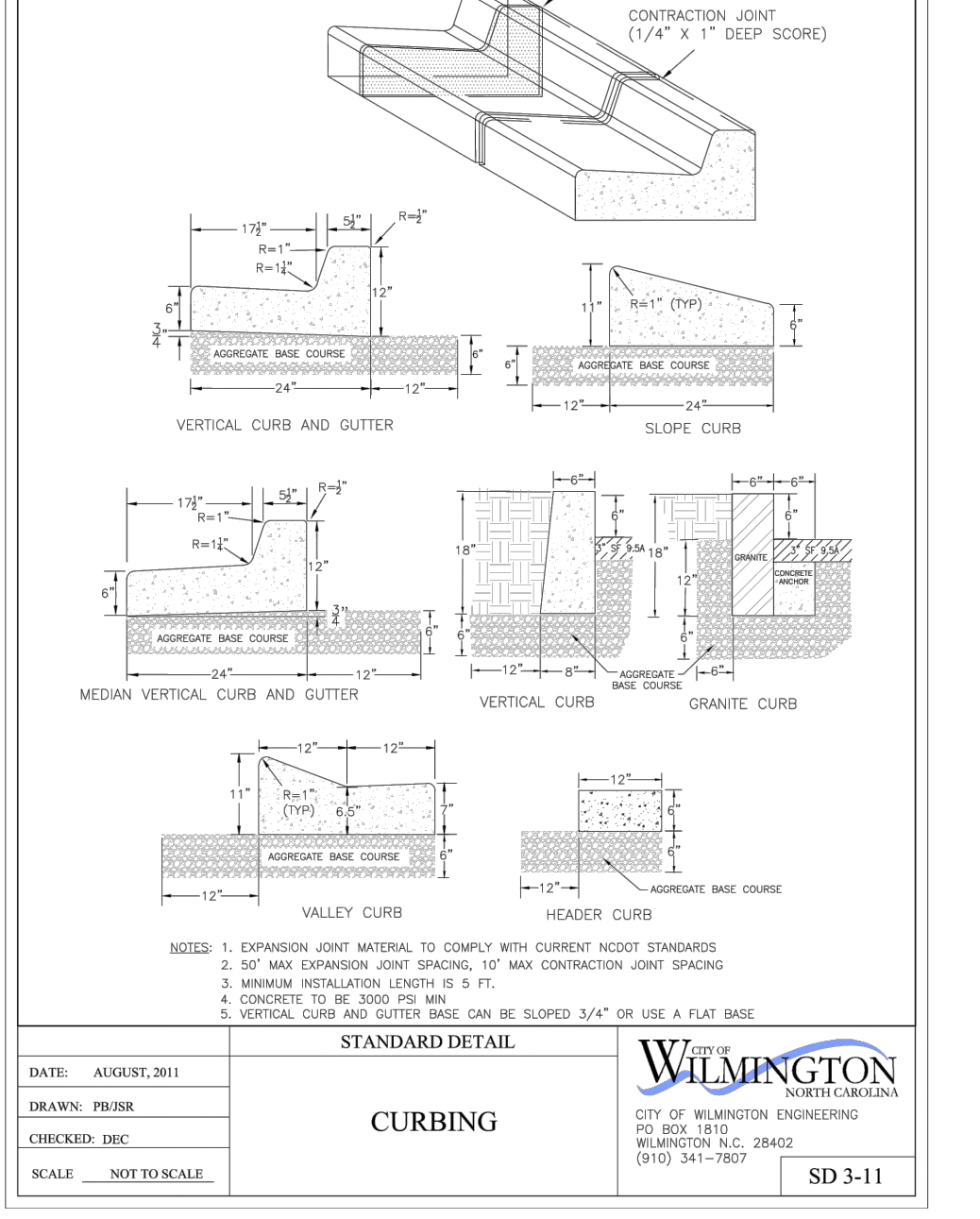
**ACCESSIBLE PARKING SIGNS AND INSTALLATION DETAILS**  
SHEET A1 OF 5



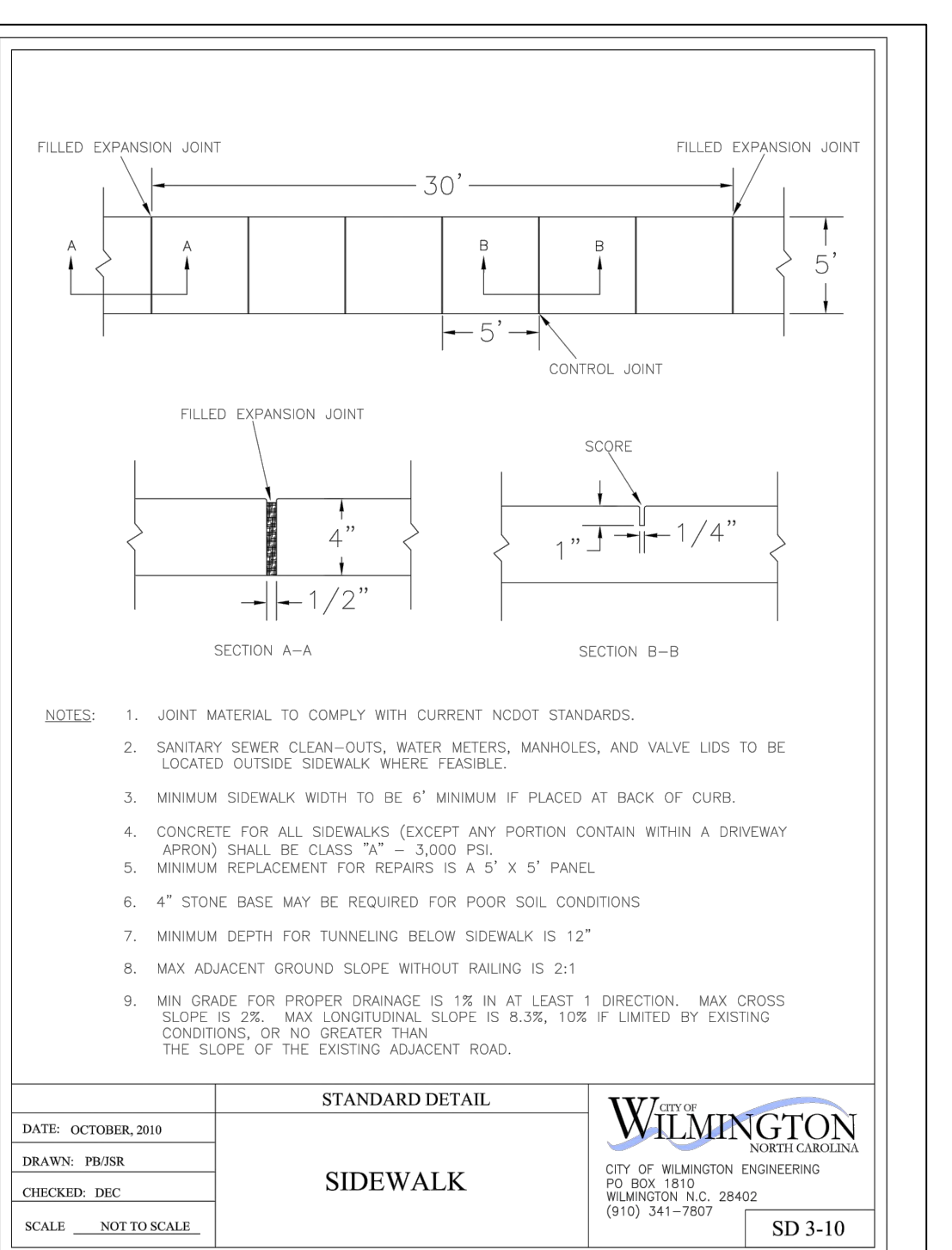
**ACCESSIBLE PARKING SIGNS AND INSTALLATION DETAILS**  
SHEET A2 OF 5



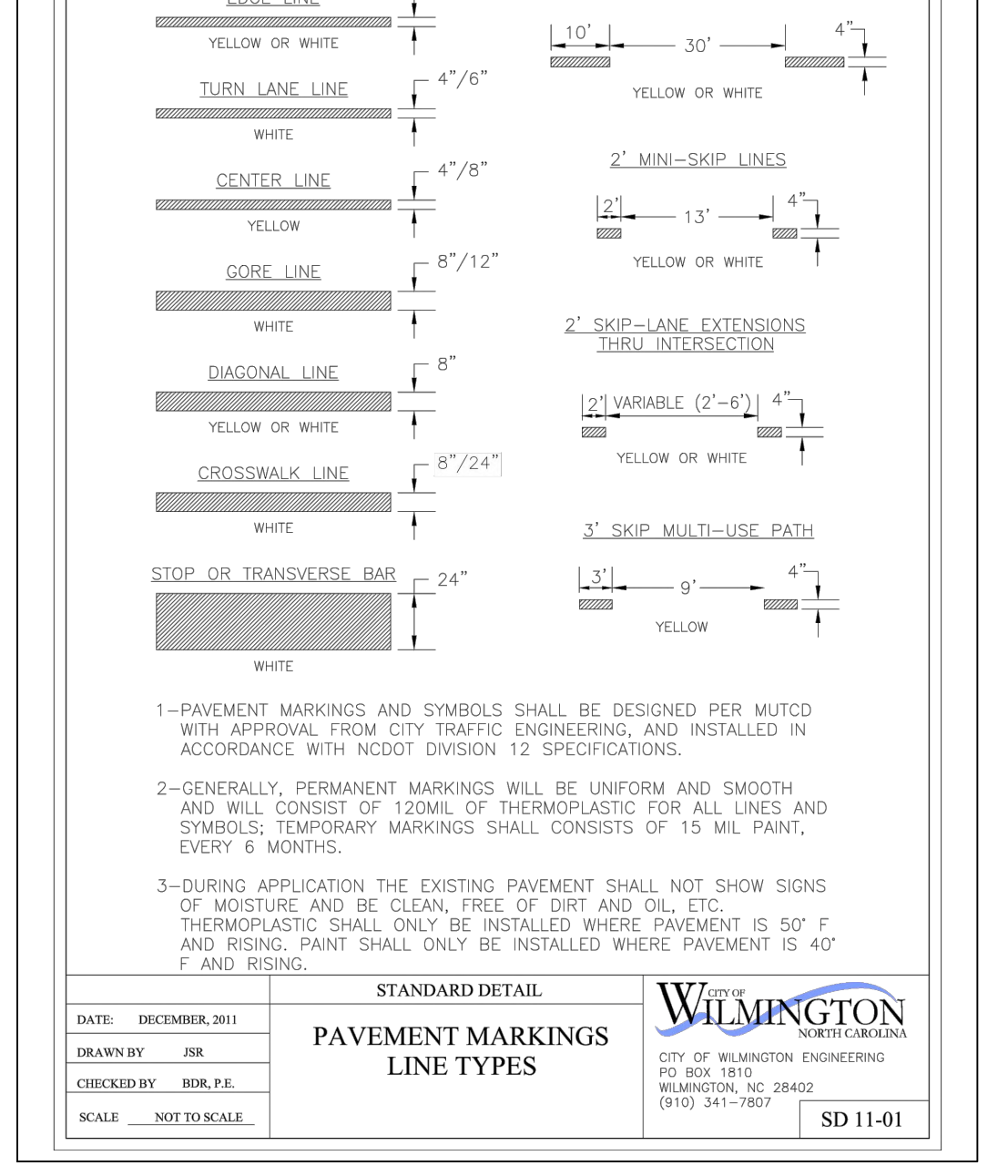
**STANDARD DETAIL**  
**PERPENDICULAR CURB RAMP ADJACENT TO WALKING SURFACE**



**STANDARD DETAIL**  
**CURBING**



**STANDARD DETAIL**  
**SIDEWALK**



**STANDARD DETAIL**  
**PAVEMENT MARKINGS LINE TYPES**



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**Approved Construction Plan**

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Traffic \_\_\_\_\_

Fire \_\_\_\_\_

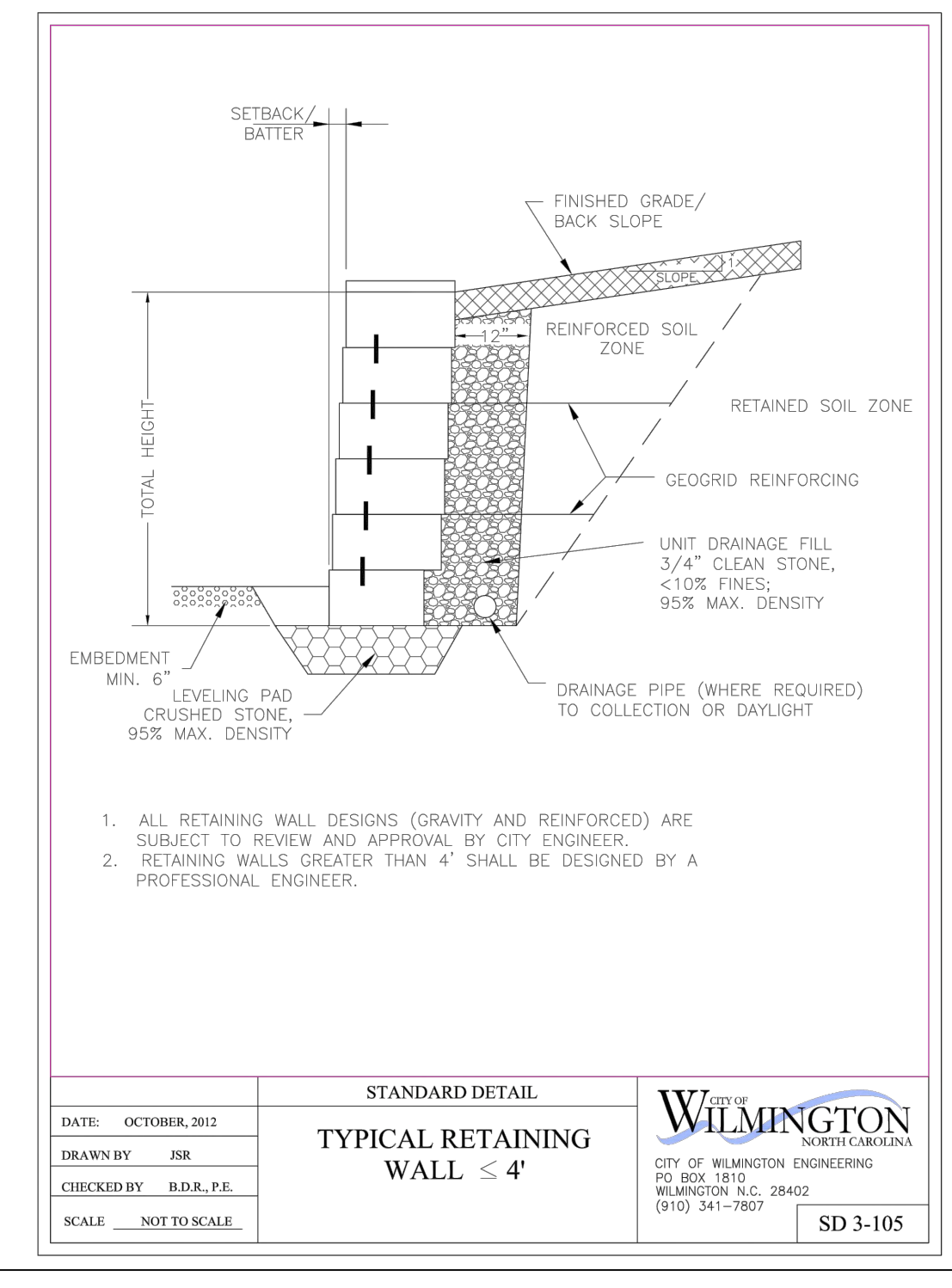
**WILMINGTON**  
NORTH CAROLINA

Public Services • Engineering Division

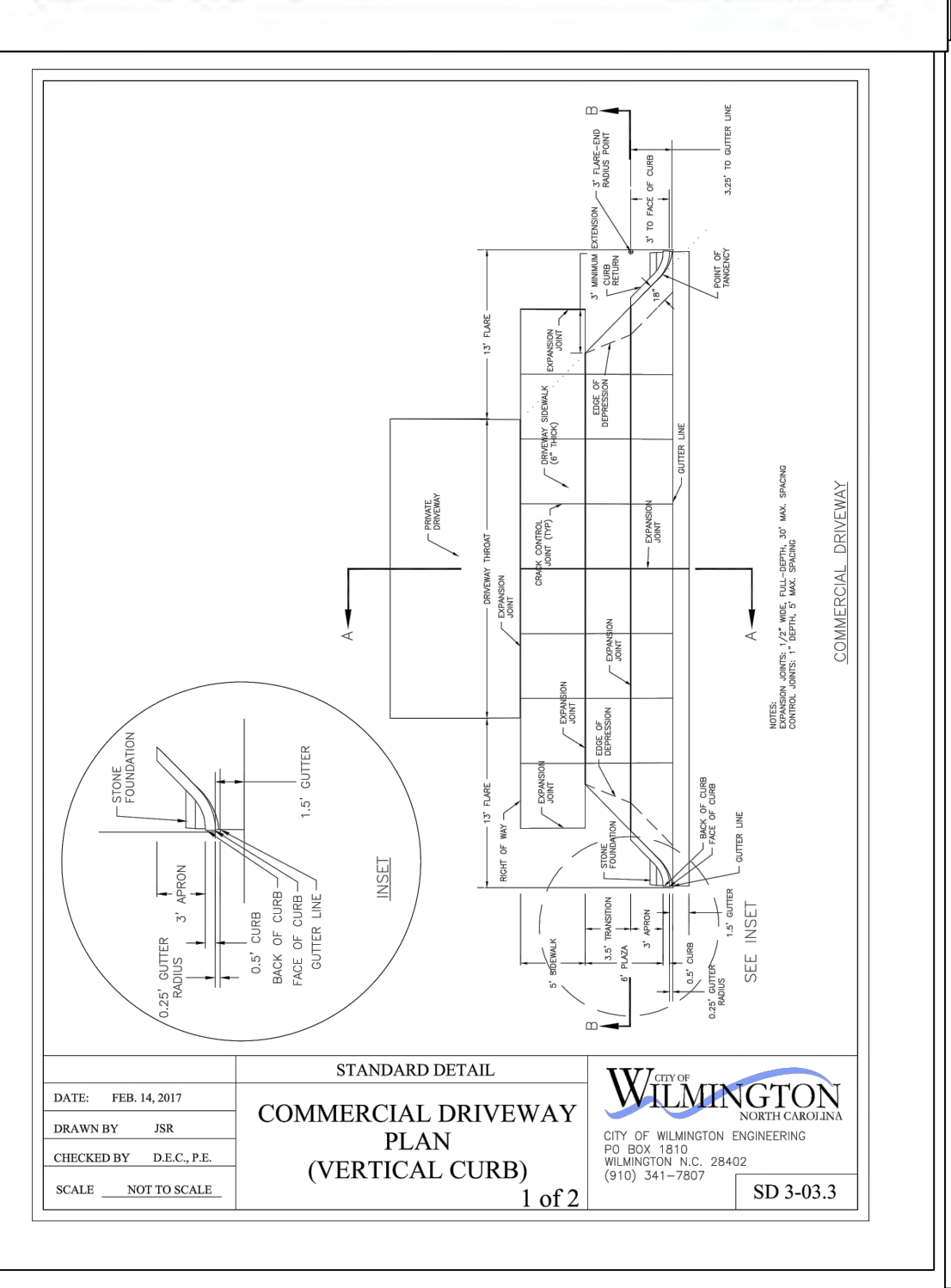
**APPROVED STORMWATER MANAGEMENT PLAN**

Date: \_\_\_\_\_ Permit # \_\_\_\_\_

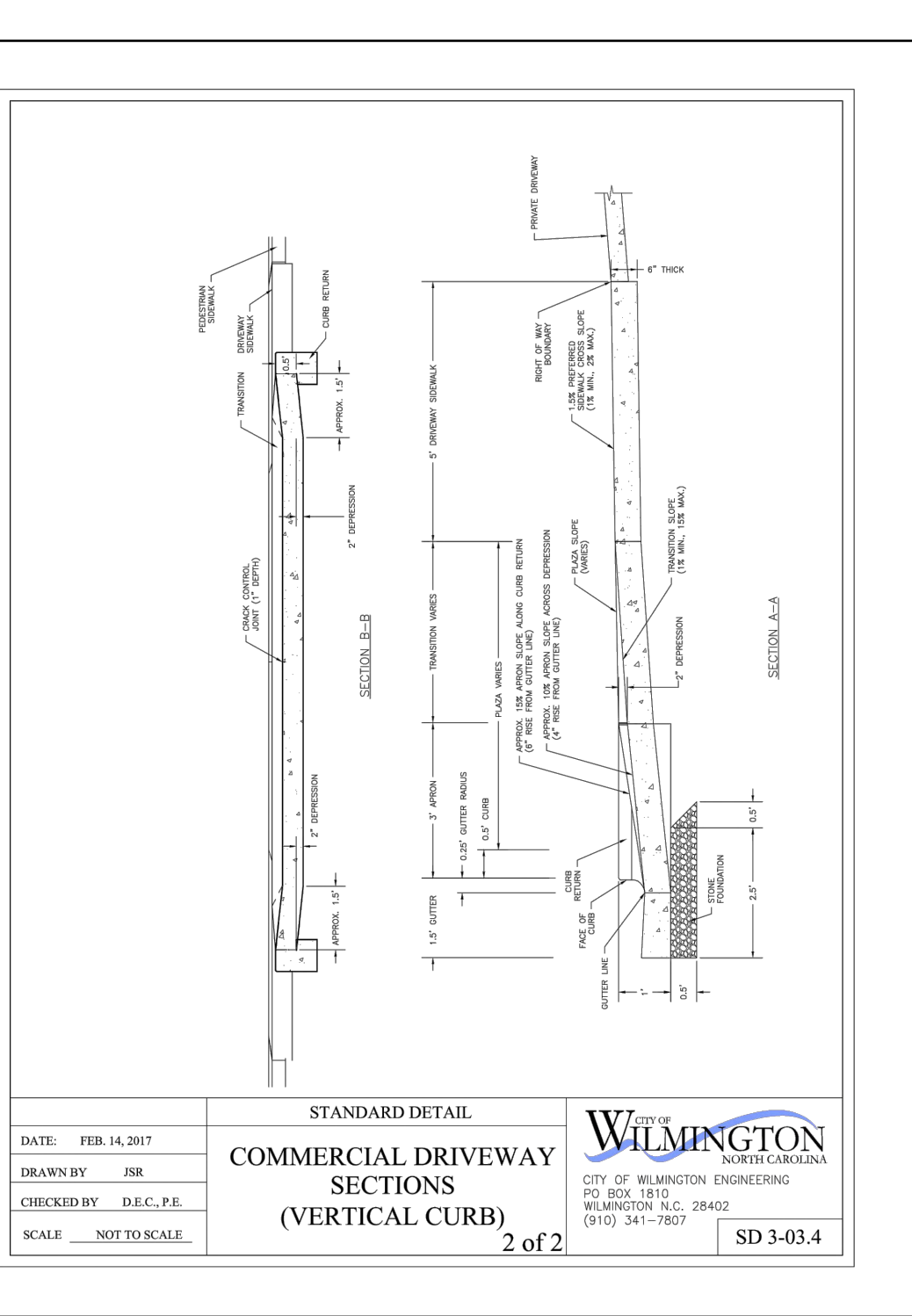
Signed: \_\_\_\_\_



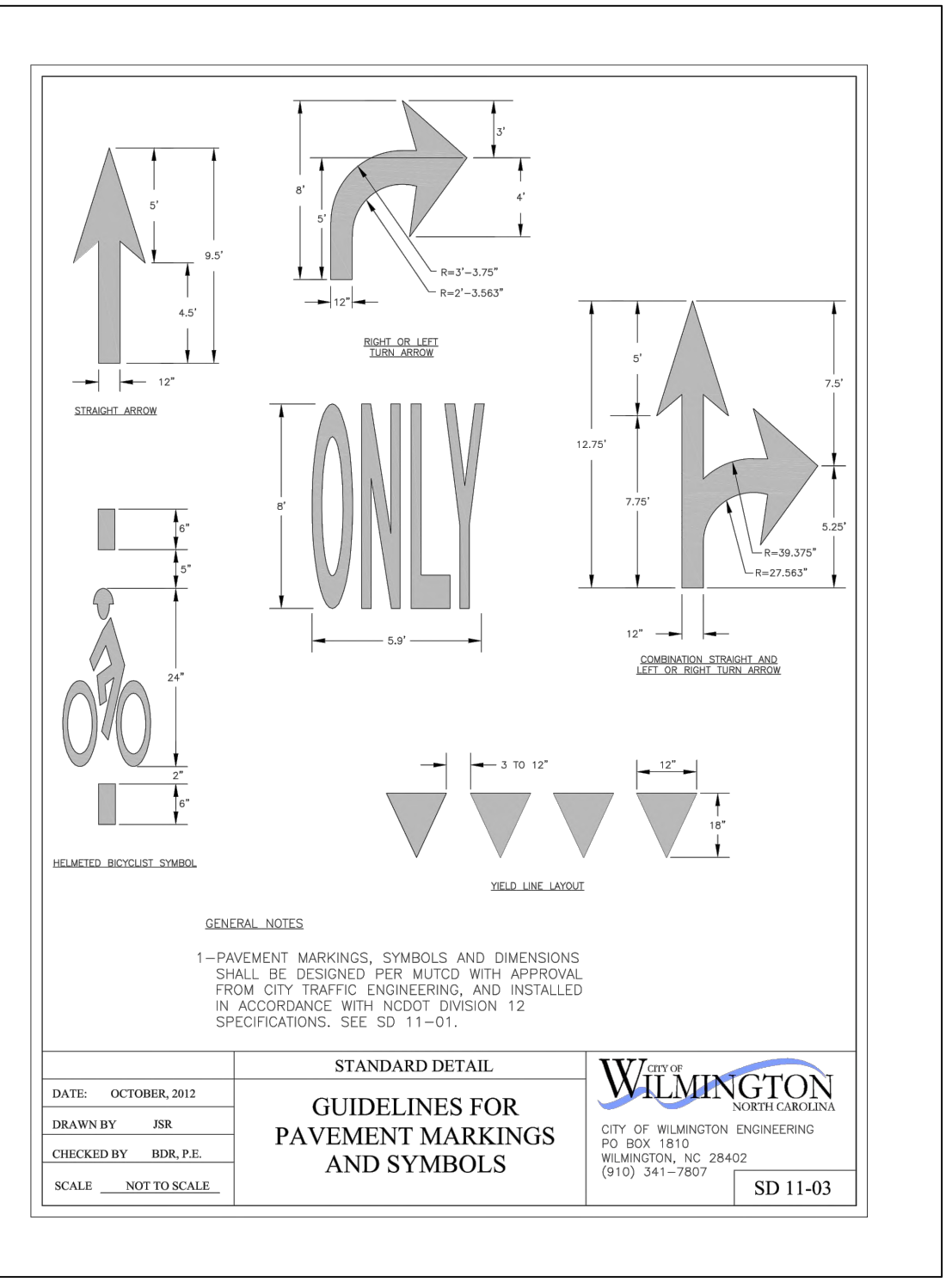
**STANDARD DETAIL**  
**TYPICAL RETAINING WALL ≤ 4'**



**STANDARD DETAIL**  
**COMMERCIAL DRIVEWAY PLAN (VERTICAL CURB)**



**STANDARD DETAIL**  
**COMMERCIAL DRIVEWAY SECTIONS (VERTICAL CURB)**



**STANDARD DETAIL**  
**GUIDELINES FOR PAVEMENT MARKINGS AND SYMBOLS**

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

**REVISIONS:**


**CLIENT INFORMATION:**

**MONTEITH CONSTRUCTION**  
208 PRINCESS STREET  
WILMINGTON, NC 28401

**PARAMOUNT ENGINEERING**

122 Cinema Drive  
Wilmington, North Carolina 28403  
(910) 791-6707 (O) (910) 791-6760 (F)  
NC License # C-2846

**DETAILS**

**TRU COLORS BREWERY**  
715 GREENFIELD STREET  
WILMINGTON, NORTH CAROLINA

**PROJECT STATUS:**

CONCEPTUAL LAYOUT: \_\_\_\_\_

FINAL DESIGN: \_\_\_\_\_

RELEASED FOR CONSTRUCTION: \_\_\_\_\_

**DRAWING INFORMATION:**

DATE: 10/26/19

SCALE: N.T.S.

DRAWN BY: JSR

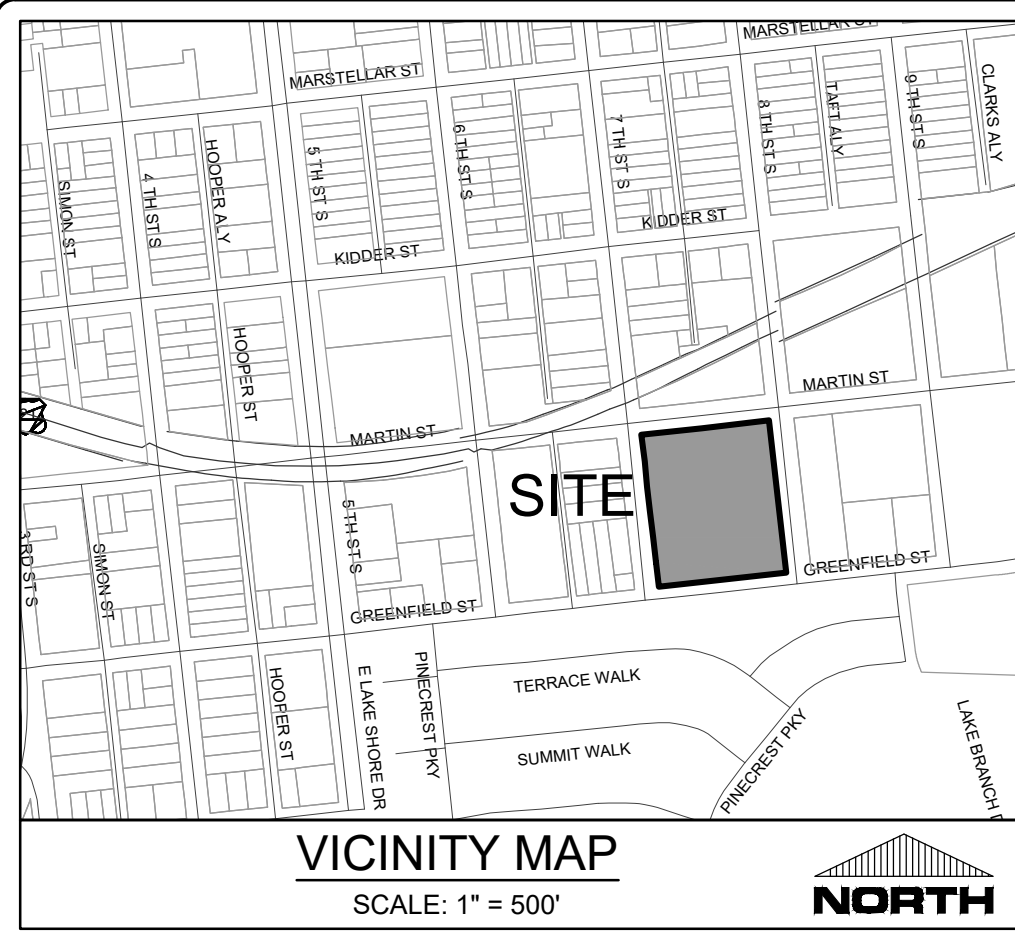
CHECKED BY: B.D.C.P.E.

Professional Seal redacted on electronic copy per City of Wilmington Policy

**C-6.0**

PEI JOB#: 19321.PE





VICINITY MAP  
SCALE: 1" = 500'

**SITE DATA TABULATION**

PROJECT NAME & ADDRESS:	TRU COLORS BREWERY 715 GREENFIELD STREET WILMINGTON NC, 28401
PROPERTY OWNER:	TRUE COLORS HOLDINGS, INC. 21 S. FRONT STREET WILMINGTON, NC 28401
TAX PARCEL IDENTIFICATION #:	R05418-001-001-000
RECORDED MAP BOOK:	BK 6252, PG 1875-1878
TOTAL SITE AREA:	3.00 ACRES (130,897 SF)
CURRENT ZONING:	UMX (URBAN MIXED USE)
CAMA LAND USE CLASSIFICATION:	URBAN

<b>BUILDING DATA</b>	
NUMBER OF BUILDINGS:	1
MAXIMUM ALLOWABLE BUILDING HEIGHT:	45 FT.
EX. BUILDING HEIGHT:	21 FT.
PROPOSED BUILDING HEIGHT:	21 FT.
EXISTING LAND USE:	VACANT MANUFACTURING BLDG.
PROPOSED LAND USE:	BREWERY ADMIN. OFFICES, DAYCARE, CLINIC, RESTAURANT
NUMBER OF STORIES:	1
TOTAL BUILDING AREA:	EXISTING: 51,243 SQ. FT. PROPOSED: 13,243 SQ. FT.
TOTAL BUILDING AREA:	64,486 SQ. FT.
BUILDING LOT COVERAGE:	49.3%
PROPOSED BLDG. CONSTRUCTION:	IIB

**LANDSCAPE CALCULATIONS:**

**STREET TREE PLANTING - Sec. 18-204(c)(7)(c) / 18-196(f)(3)**

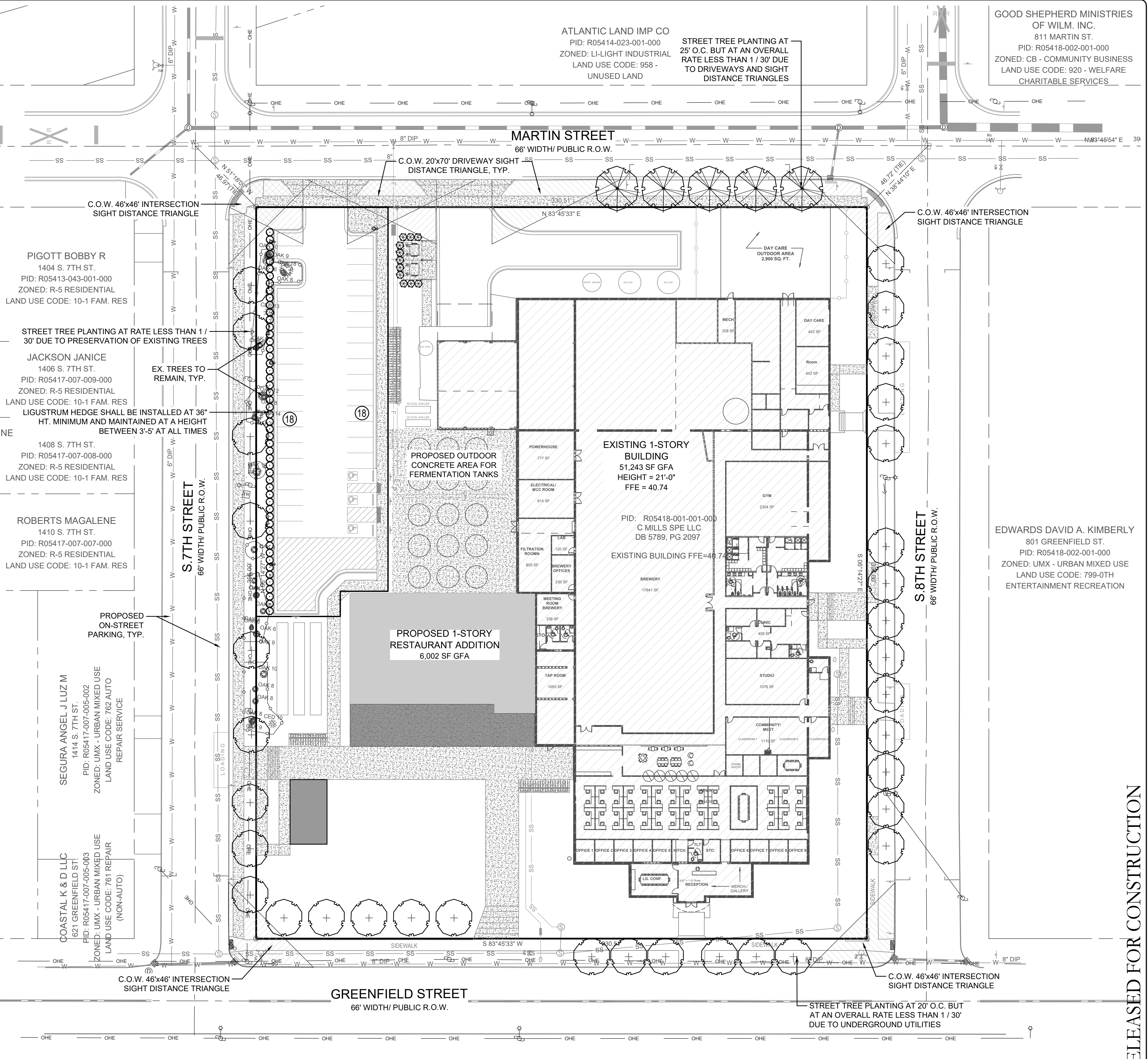
Within the 1945 corporate limits, street tree plantings in below-grade planters shall be included in the public right-of-way at the rate of one (1) tree per thirty (30) feet of frontage. If the city manager determines there is no plaza or other space available for tree plantings in the right-of-way, or determines that the planting is problematic for the site, a payment-in-lieu of tree plantings, equal to the cost for the required trees, including materials and installation, shall be paid by the developer into the City of Wilmington tree improvement fund.

Greenfield Street 330 LF / 30' spacing =	REQ'D 11	PROV 11
8th Street 396 LF / 30' spacing =	REQ'D 14	PROV 9
9th Street 396 LF / 30' spacing =	REQ'D 14	PROV 14
Martin Street 330 LF / 30' spacing =	REQ'D 11	PROV 5

STREET TREE PLANTING QUANTITIES LESS THAN REQUIRED DUE TO EXISTING SITE CONDITIONS AND EXISTING TREES - SEE PLAN

PLANT SCHEDULE				
STREET TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
	WO	5	Quercus phellos Willow Oak	2.5" cal
	LBE	33	Ulmus parvifolia 'Drake' Drake Lacebark Elm	2.5" cal
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER
	LIG	53	Ligustrum japonicum 'East Bay' East Bay Privet	7 gal - 36" H
	POD	12	Podocarpus m. maki Shrubby Yew Podocarpus	6" H

**PLANTING NOTES:**  
1. ALL PLANT BEDS SHALL RECEIVE PINE STRAW MULCH 3" DEPTH MIN. - 4" DEPTH MAX  
2. SEED ALL DISTURBED AREAS OUTSIDE OF MULCH AREAS WITH BERMUDA 'BLACKJACK'



ATLANTIC LAND IMP CO  
PID: R05414-023-001-000  
ZONED: LI-LIGHT INDUSTRIAL  
LAND USE CODE: 958 - UNUSED LAND

STREET TREE PLANTING AT 25' O.C. BUT AT AN OVERALL RATE LESS THAN 1 / 30' DUE TO DRIVEWAYS AND SIGHT DISTANCE TRIANGLES

GOOD SHEPHERD MINISTRIES OF WILM. INC.  
811 MARTIN ST.  
PID: R05418-002-001-000  
ZONED: CB - COMMUNITY BUSINESS  
LAND USE CODE: 920 - WELFARE CHARITABLE SERVICES

EDWARDS DAVID A. KIMBERLY  
801 GREENFIELD ST.  
PID: R05418-002-001-000  
ZONED: UMX - URBAN MIXED USE  
LAND USE CODE: 799-0TH ENTERTAINMENT RECREATION

LAKE FOREST INV.  
250 PINECREST PKY.  
PID: R05418-003-001-000  
ZONED: R-5 RESIDENTIAL  
LAND USE CODE: 12-3 + FAMILY RES.

Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN  
Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_

**Approved Construction Plan**

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_  
Traffic \_\_\_\_\_  
Fire \_\_\_\_\_

NCDENR PWSS WATER PERMIT #: \_\_\_\_\_  
WATER CAPACITY: \_\_\_\_\_ GPD  
DWQ SEWER PERMIT #: \_\_\_\_\_  
SEWER CAPACITY: \_\_\_\_\_ GPD  
SEWER SHED # AND PLANT: \_\_\_\_\_  
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Know what's below.  
Call before you dig.

GRAPHIC SCALE  
0 15 30 60 120  
SCALE: 1"=30'

REVISIONS:	
------------	--

CLIENT INFORMATION:  
**MONTEITH CONSTRUCTION**  
208 PRINCESS STREET  
WILMINGTON, NC 28401

**PARAMOUNT ENGINEERING, INC.**  
122 Cinema Drive  
Wilmington, North Carolina 28403  
(910) 791-6707 (O) (910) 791-6760 (F)  
NC License #: C-2846

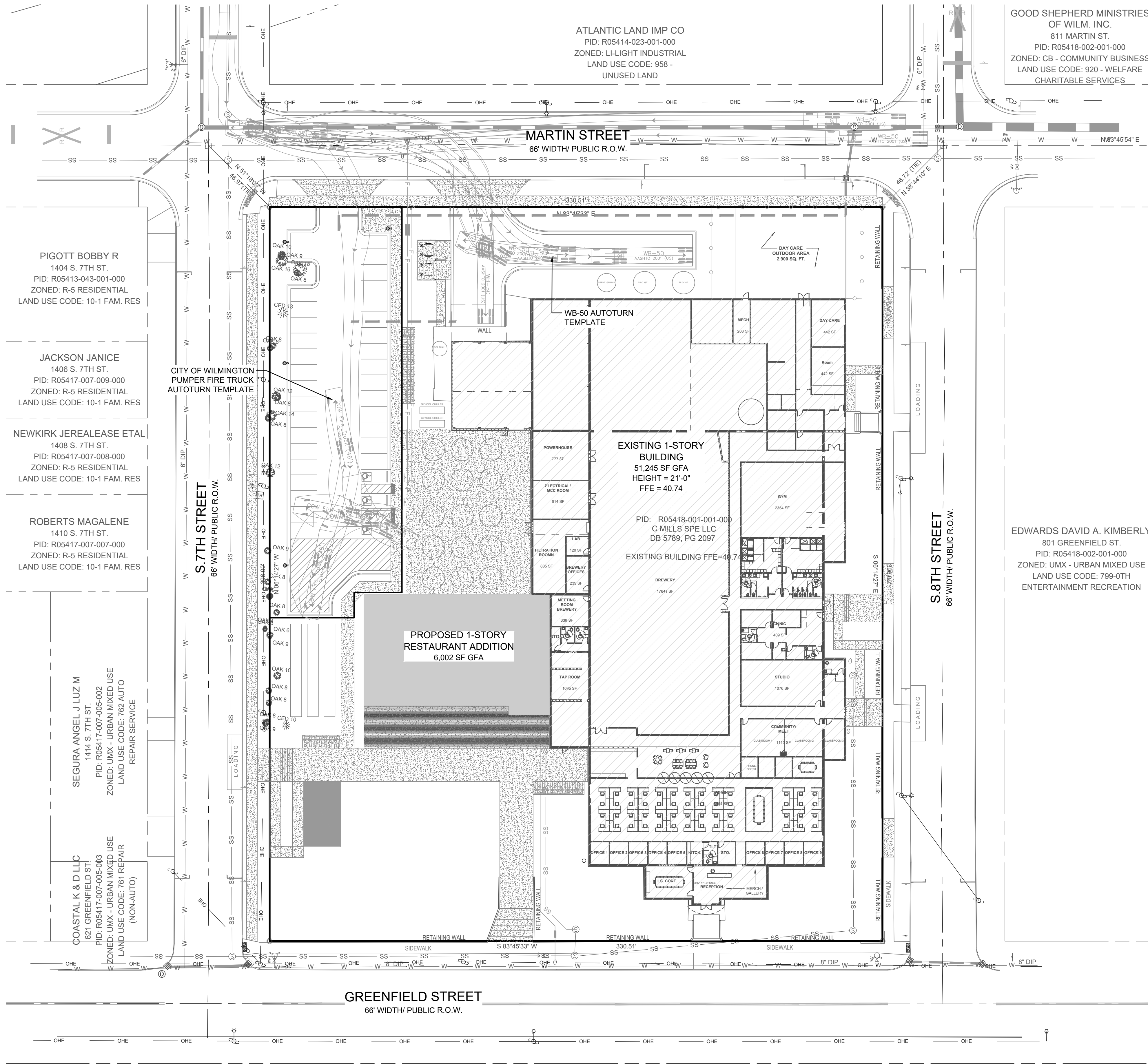
**LANDSCAPE PLAN**  
TRU COLORS BREWERY  
715 GREENFIELD STREET  
WILMINGTON, NORTH CAROLINA

PROJECT STATUS	CONCEPTUAL LAYOUT: _____ FINAL DESIGN: _____ RELEASED FOR CONST: _____
DRAWING INFORMATION	DATE: _____ SCALE: _____ DESIGNED: _____ CHECKED: _____

Professional Seal  
redacted on electronic  
copy per City of  
Wilmington Policy

**L-1.0**  
PEI JOB#: 19321.PE

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION



PIGOTT BOBBY R  
1404 S. 7TH ST.  
PID: R05413-043-001-000  
ZONED: R-5 RESIDENTIAL  
LAND USE CODE: 10-1 FAM. RES

JACKSON JANICE  
1406 S. 7TH ST.  
PID: R05417-007-009-000  
ZONED: R-5 RESIDENTIAL  
LAND USE CODE: 10-1 FAM. RES

NEWKIRK JERELEASE ETAL  
1408 S. 7TH ST.  
PID: R05417-007-008-000  
ZONED: R-5 RESIDENTIAL  
LAND USE CODE: 10-1 FAM. RES

ROBERTS MAGALENE  
1410 S. 7TH ST.  
PID: R05417-007-007-000  
ZONED: R-5 RESIDENTIAL  
LAND USE CODE: 10-1 FAM. RES

SEGURA ANGEL J LUZ M  
1414 S. 7TH ST.  
PID: R05417-007-005-002  
ZONED: UMX - URBAN MIXED USE  
LAND USE CODE: 702 AUTO  
REPAIR SERVICE

COASTAL K & D LLC  
621 GREENFIELD ST  
PID: R05417-007-005-003  
ZONED: UMX - URBAN MIXED USE  
LAND USE CODE: 701 REPAIR  
(NON-AUTO)

ATLANTIC LAND IMP CO  
PID: R05414-023-001-000  
ZONED: LI-LIGHT INDUSTRIAL  
LAND USE CODE: 958 -  
UNUSED LAND

GOOD SHEPHERD MINISTRIES  
OF WILM. INC.  
811 MARTIN ST.  
PID: R05418-002-001-000  
ZONED: CB - COMMUNITY BUSINESS  
LAND USE CODE: 920 - WELFARE  
CHARITABLE SERVICES

CITY OF WILMINGTON  
PUMPER FIRE TRUCK  
AUTOTURN TEMPLATE

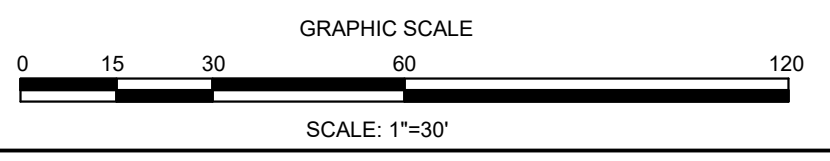
EXISTING 1-STORY  
BUILDING  
51,245 SF GFA  
HEIGHT = 21'-0"  
FFE = 40.74

PID: R05418-001-001-000  
C MILLS SPE LLC  
DB 5789, PG 2097

PROPOSED 1-STORY  
RESTAURANT ADDITION  
6,002 SF GFA

EDWARDS DAVID A. KIMBERLY  
801 GREENFIELD ST.  
PID: R05418-002-001-000  
ZONED: UMX - URBAN MIXED USE  
LAND USE CODE: 799-0TH  
ENTERTAINMENT RECREATION

LAKE FOREST INV.  
250 PINECREST PKY.  
PID: R05418-003-001-000  
ZONED: R-5 RESIDENTIAL  
LAND USE CODE: 12-3 + FAMILY RES.



FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

NO.	DESCRIPTION

CLIENT INFORMATION:  
**MONTEITH CONSTRUCTION**  
208 PRINCESS STREET  
WILMINGTON, NC 28401

**PARAMOUNT ENGINEERING INC.**  
122 Cinema Drive  
Wilmington, North Carolina 28403  
(910) 791-6707 (O) (910) 791-6700 (F)  
NC License #: C-2846

**AUTOTURN EXHIBIT**  
**TRU COLORS BREWERY**  
715 GREENFIELD STREET  
WILMINGTON, NORTH CAROLINA

PROJECT STATUS	
PRELIMINARY LAYOUT:	
FINAL DESIGN:	
RELEASED FOR CONSTRUCTION:	

DRAWING INFORMATION	
DATE:	12/06/19
SCALE:	1" = 30'
DRAWN:	AEJ
CHECKED:	JBK

Professional Seal  
redacted on electronic  
copy per City of  
Wilmington Policy

**EXH-1**  
PEI JOB#: 19321.PE